



**ILENE  
SHAPIRO**  
COUNTY EXECUTIVE

**Summit County Planning Commission (SCPC)**

Thursday, February 22, 2024 - 3:00 p.m.

County of Summit, County Council Chambers

175 South Main Street, 7<sup>th</sup> Floor, Akron, Ohio

**Meeting Agenda**

- |    |  |                       |
|----|--|-----------------------|
| A. | Call to Order                                  | <b>Chair Mavrides</b> |
| B. | Roll Call                                      | <b>Tubbs</b>          |
| C. | Approval of the January 18, 2023, SCPC Minutes | <b>Chair Mavrides</b> |
| D. | Business Items                                 | <b>Knittel</b>        |

**New Business**

1. **Kings Ridge Drive – Riparian Variance** - The site is located in Richfield Township along Kings Ridge Rd, PN 4802421. The applicant is proposing to build a house that would encroach upon the riparian setback. Per the applicant: There is a stream with a 50-foot Riparian Setback that takes up 82% of the allowed buildable area. The applicant has a new site plan.
2. **Sunset Drive – Final Plat – Copley Township** - Applicant is proposing extending Sunset Drive in Copley Township to complete the connection from Copley Rd to S. Cleveland-Massillon Rd.
3. **202 Montrose West Ave – Lot Split & Variance – Copley Township** – Applicant is proposing to split parcel 1505034 (6.511 acres) into two parcels, B-1 (2.8315 acres) and B-2 (3.5153 acres). The creation of proposed parcel B-2 would require a full variance from SubReg 1105.05 (e): that a minimum of 30 feet of continuous road frontage on a dedicated street is required for both major and minor subdivisions.
4. **2400 South Main St – Rezoning – Coventry Township** – The applicant is requesting to rezone 2400 South Main Street (PN 1907200) from B-2 Business to C-I Commercial/Industrial.
5. **Life Care Facilities – Text Amendment – Copley Township** - Proposal to amend Article 7, Section 7.10 Additional Criteria for Specified Conditional Uses L. Life Care Facility of the Copley Zoning Resolution in order to increase the effectiveness of on-site health care.
6. **Swimming Pools – Text Amendment – Twinsburg Township** – Proposal to amend Chapter 17, section 17.20 Swimming Pools, to alter allowable gap distance in the fence required to surround a swimming pool from 3 inches to 4 inches.
7. **Driveways – Text Amendment – Northfield Center Township** – Proposal to amend Chapter 410 Off Street Parking and Loading Regulations, Section 410.10 Regulations for Access Drives, B. Driveways in Residential Areas, to add a new #5 “One driveway permitted per residential lot.”
8. **Definitions – Text Amendment – Northfield Center Township** – Proposal to amend Chapter 130 Definitions to amend Driveway, General to read Driveways are restricted to that area of a lot reserved for ingress and egress to the main structure or to a detached garage and shall consist of a hard surface material such as asphalt, concrete, brick, stone or porous pavers.
9. **Residential District Regulations – Text Amendment – Northfield Center Township** – Proposal to amend Chapter 3.10 Residential District Regulations, Section 310.08, I#2, to alter allowable gaps in fences from 3 inches to 4 inches.

**Old Business**

1. **Kingdom Preserve Preliminary Plan – Springfield Township** – Proposing 36 units on a proposed public cul-de-sac off of Killian Road.
2. **Heartride Final Plat Ph. 2 – Sagamore Hills Township** – Proposing 24 sub lots and the creation of Timberidge Circle (public) and Kennaridge Circle (public) off of Heartride Drive (public).

None

- |    |                                  |                       |
|----|----------------------------------|-----------------------|
| E. | Report from Assistant Director   | <b>Tubbs</b>          |
| F. | Comments from Public             | <b>Chair Mavrides</b> |
| G. | Comments from Commission Members | <b>Chair Mavrides</b> |
| H. | Other                            |                       |
|    | 1. Legal Update                  | <b>Evans</b>          |
| I. | Adjournment                      | <b>Chair Mavrides</b> |



**Summit County Planning Commission (SCPC)**

Thursday, January 18<sup>th</sup>, 2024 - 3:00 p.m.

County of Summit, County Council Chambers

175 South Main Street, 7<sup>th</sup> Floor, Akron, Ohio

**Meeting Minutes**

A. Call to Order

**Chair Allen Mavrides**

*Chair Allen Mavrides* called to order the Thursday, January 18<sup>th</sup>, 2024 - SCPC monthly meeting at 3:00 p.m.

B. Roll Call

**Dennis Tubbs**

SCPC Member	Present
<b>Open</b>	
Dickinson, Erin	X
Wiedie-Higham, Christine	X
Jones-Capers, Halle	X
Kline, David	
Mavrides, Allen	X
Reville, Rich	X
Segedy, Jason	X
Snell, Jeff	
Stoiber, Dennis	X
Terry, Robert	X

Reported by *Dennis Tubbs*, we have a quorum for SCPC meeting Thursday, January 18<sup>th</sup>, 2024 – SCPC monthly meeting at 3:00:08 p.m.

C. Approval of the November 16, 2023, SCPC Minutes

**Chair Allen Mavrides**

SCPC Member	Motion	Second	Yea	Nay	Abstain
<b>Open</b>					
Dickinson, Erin					
Wiedie- Higham, Christine			X		
Jones-Capers, Halle			X		
Kline, David					
Mavrides, Allen			X		

Reville, Rich	X		X		
Segedy, Jason			X		
Snell, Jeff					
Stoiber, Dennis		X	X		
Terry, Robert			X		

**Motion**

*Rich Reville* made a motion to *approve Thursday, November 16, 2023, SCPC meeting minutes, with amendments* and it was seconded by *Dennis Stoiber, all in favor, aye, Thursday, November 16, 2023, SCPC meeting minutes*, the motion was *approved* with 0 abstentions.

*Dennis Stoiber* comments in reference to structure of the Meeting minutes for Thursday, November 16, 2023; error corrected on meetings and now reads.

*Change: Pre-Meeting Minutes to Meeting Minutes*

*Previous read:*

**Summit County Planning Commission (SCPC)**  
 Thursday, November 16, 2023 - 3:00 p.m.  
 County of Summit, County Council Chambers  
 175 South Main Street, 7<sup>th</sup> Floor, Akron, Ohio  
**Pre-Meeting Minutes**

*New read:*

**Summit County Planning Commission (SCPC)**  
 Thursday, November 16, 2023 - 3:00 p.m.  
 County of Summit, County Council Chambers  
 175 South Main Street, 7<sup>th</sup> Floor, Akron, Ohio  
**Meeting Minutes**

*Chair Allen Mavrides* requested an amendment to the Thursday, January 18<sup>th</sup>, 2024 - SCPC monthly meeting agenda adding new item to the agenda Rosemont Ridge – City of Fairlawn & Copley Township – this will be listed as Item #7 Rosemont Ridge – City of Fairlawn & Copley Township.

SCPC Member	Motion	Second	Yea	Nay	Abstain
<b>Open</b>					
Dickinson, Erin					
Wiedie- Higham, Christine		X	X		
Jones-Capers, Halle			X		
Kline, David					
Mavrides, Allen			X		
Reville, Rich			X		
Segedy, Jason	X		X		
Snell, Jeff					
Stoiber, Dennis			X		

Terry, Robert			X		
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**Motion**

Jason Segedy made a motion to *amend* the Thursday, January 18<sup>th</sup>, 2024 - SCPC monthly meeting agenda adding new item to the agenda Rosemont Ridge – City of Fairlawn & Copley Township adding Item#7 and it was seconded by *Christine Wiedie-Higham, all in favor, aye*, motion to amend the **Thursday, January 18<sup>th</sup>, 2024 - SCPC monthly meeting agenda adding new Item#7 Rosemont Ridge – City of Fairlawn & Copley Township**, the motion was *approved* with   0   abstentions.

D. Business Items

Stephen Knittel

**New Business**

- Kingdom Preserve Preliminary Plan – Springfield Township** – Proposing 36 units on a proposed public cul-de-sac off of Killian Road.

*Reported by Stephen Knittel:*

*Stephen Knittel* reported that this item is about Kingdom Preserve – Springfield Twp. located off of Killian Road east of the intersection with Pickle Road, there are many comments from the township and the county engineer’s office.

Staff recommendation to members is to table this item so that the item can be adjusted further between the applicant, the township and the county engineer’s office before the project continues moving forward.

*Representation for the Township:* The applicant was not present at this time.

*Questions/Comments from the members:* No comments

*County Engineer’s Office:* No comments

*Summit Soil and Water:* No comments

*Questions from the Public:* No comments

*Discussion from the members:* No further discussion from the members.

SCPC Member	Motion	Second	Yea	Nay	Abstain
<b>Open</b>					
Dickinson, Erin					
Wiedie- Higham, Christine			X		
Jones-Capers, Halle			X		
Kline, David					
Mavrides, Allen	X		X		
Reville, Rich		X	X		
Segedy, Jason			X		
Snell, Jeff					

Stoiber, Dennis			X		
Terry, Robert			X		

**Motion**

*Allen Mavrides* made a motion to *table* **Item#1- Kingdom Preserve Preliminary Plan – Springfield Township**, and it was seconded by *Rich Reville*, ***all in favor, aye, Item#1- Kingdom Preserve Preliminary Plan – Springfield Township***, the motion was *tabled* with   0   abstentions.

2. **Heartridge Final Plat Ph. 2 – Sagamore Hills Township** – Proposing 24 sublots and the creation of Timberidge Circle (public) and Kennaridge Circle (public) off of Heartridge Drive (public).

*Reported by Stephen Knittel:*

*Stephen Knittel* reported that the applicant is proposing a plat be converted into the creation of 24 sublots.

Staff recommends approval as there are no comments that suggest any other actions be taken.

*Representation for the Township:* The applicant was not present at this time.

*Questions/Comments from the members:*

*Allen Mavrides* stated that he did not want to address this item without the applicant or representation being present and suggested that we move the item until the end of the agenda today.

*County Engineer’s Office:* No comments

*Summit Soil and Water:* No comments

*Questions from the Public:* No comments

*Discussion from the members:* No further discussion from the members

SCPC Member	Motion	Second	Yea	Nay	Abstain
<b>Open</b>					
Dickinson, Erin			X		
Wiedie- Higham, Christine			X		
Jones-Capers, Halle			X		
Kline, David					
Mavrides, Allen			X		
Reville, Rich			X		
Segedy, Jason		X	X		
Snell, Jeff					
Stoiber, Dennis	X		X		
Terry, Robert			X		

**Motion**

*Dennis Stoiber* made a motion to move the item until the end of the agenda **Item#2 - Heartridge Final Plat Ph. 2 – Sagamore Hills Township**, and it was seconded by *Jason Segedy*, *all in favor, aye*, **Item#2 - Heartridge Final Plat Ph. 2 – Sagamore Hills Township**, the motion was moved to the end of the agenda with 0 abstentions.

3. **395 Springside Rezoning- Bath Township** – Applicant is requesting a rezoning of 395 Springside Drive from B-3 to B-2, to change the allowed uses from an office building to a retail store.

*Reported by Stephen Knittel:*

*Stephen Knittel* reported that the applicant is requesting a change in zoning classification, it is approximately 6 acres currently zoned to B-3 office use the applicant is requesting to a rezoning to a B-2 office use.

Staff comments are that the site could be used as currently zoned, but there are other offices that are B-2 zoned adjacent to this parcel and that under the proposed change there should be no adverse effect to the rezoning of this property.

*Questions/Comments from the members:*

*Allen Mavrides* made a comment that he would like the planning commission to please ignore of the proposed exhibits as we are looking at the property itself and if it should be rezone or not.

*Applicant:*

Applicant Angelo Petitti

*Petitti Garden Centers / Home & Garden Center, Plant Nursery*  
25018 Broadway Avenue, Oakwood Village, OH

The applicant stated that they are looking to open another gardening center in Bath Township they applicant has another business like this in another community, on West Avenue, Tallmadge, OH, Petitti Garden Center. He explained that two members of his family currently reside in Bath Township. They were able to find a parcel that is close to Lowe's in Bath and ties in nicely with the retail community that is currently existing in Bath Twp. there is no other garden center close, and they believe that this will fill the need for a what they do or what they offer. They are looking to change the office building over to retail and open up a store there.

*Representation for the Township:*

*William Funk*, Bath Township, Planning Director/Zoning Inspector, stated the township had no comment at this time but welcomed any questions.

*Questions/Comments from the members:*

*Rich Reville* asked if all the planning would be under this structure about vented air.

*Townships* response, yes. Everything is done sales wise. The applicant is proposing a large indoor shade structure for their greenhouse and all sales will be made inside. All the planning would be under that shaded structure.

*County Engineer's Office:*

*Joe Paradise*, *County Engineers Office* stated that they are aware of this parcel as they are designing a sidewalk along Cleveland-Massillon Road they were right in the middle of finalizing the property changed hands so currently they are on hold, however, the County Engineer's office has no issues with the change from B-3 to B-2 as long as the applicants knows that the driveway entrance and exit need to comply with the traffic access manuals and stormwater also.

*Summit Soil and Water:* No comments

*Questions from the Public:*

Neil Levy

*David A Levy & Associates - Architecture Firm*

345 Springside Drive, Akron, OH 44333

*Neil Levy* stated that they currently have the small parcel to the left on the West side of the parcel on the table today. The biggest issue is the first domino of a cascading effect down Springside Drive, though there is a singular adjacent property that is a retail and currently B-2 zoned the rest of the surrounding Springside Drive is not. The intention of Springside Drive was never for retail. The way that the building is positioned on the lot determines the rest of the properties down the lane and being a property owner, they believe that they will be adversely affected should this continue to occur down the drive, as they are one of the smallest properties on the drive and if everything turns to retail they will lose value in their property currently zoned B-3 should this applicant build. The concerns that they wanted to address as well were parking availability being scarce, especially during peak times, water shut offs, the amount of fill needed will dwarf their property as the applicant will have a 25-foot difference in property heights.

Andrew Raines

*David A Levy & Associates - Architecture Firm*

345 Springside Drive, Akron, OH 44333

*Mr. Reems* asked the commission members if the County Engineer has had a chance to look at the impact to the storm water or will they at some point in time and will the commission members look at this. If they were to flatten their parking lot there would be a gap, and when they would look out of their property there would be a wall about 30-35 feet high. This would dramatically devalue their property and they are asking the County Engineer and Commission members to consider this once the site development plans is presented in the future.

They are in a jud where special taxes are taken from their paychecks to pay for economic development district there and from his understanding the entirety of Springside Drive was brought to support hotel, offices, etc. If another retailer wants to build this would take out a lot of office buildings.

Ian Jones

*Mann Parson Gray Architects*

3660 Embassy Parkway, Fairlawn, OH 44333

*Mr. Jones* stated that they are the architect firm that assisted with preliminary plans and the proposed rezoning from B-3 to B-2. He stated that the zoning will be a continuation to an existing B-2 similar to Springside on Rte. 18 where they have B-2's surrounding it where the two intersect and they do not expect any domino effect in that direction.

*Discussion from the members:*

*Rich Reville* asked a question to the township, you reviewed this and did not find a problem with the rezoning from B-3 to B-2 or the?

*Townships* response, there is no issue on their end, it is still going through the process, and they haven't had any recommendations back from their Zoning commission, but they are to meet next week for final decisions of looking at their comprehensive plan and it would be up to the townships Board of Trustees for the final

decision. Part of the process is going to the planning commission, then zoning commission, and then Board of Trustees for final decision.

*Dennis Stoiber* quoted, Item#3, is the proposed Map Amendment consistent with the objectives and goals of the Comprehensive Plan? The Township does Comprehensive/Future Land Use Plan calls for this parcel to be General Office use, which is the current zoning? The question is, does the township believe that this change complies with the current comprehensive plan?

*Townships response*, with this plan it was adopted in 2011 this lot was placed for offices for future landings plan, and there are variances for the current plan. The township is looking to update their comprehensive plan, but they will be looking closer at Springside Drive, and they feel that there are some changes and there are offices still there or is there possibly some other uses for the vacant units.

*Robert Terry* asked, why did the staff recommend approval, was it because of the current comprehensive plan? *Stephen Knittel* answered, because it was adjacent to another B-2, and it was not introducing a new zoning use in that area and it's along Cleveland-Massillon where traffic is busy already. The change to use would not increase traffic along that area.

*Andrew Raines, David A Levy & Associates - Architecture Firm* responded that although you cannot speak to the plan that the applicant is referencing. He stated that his office and mature driveways are off Springside Drive. If the approach is being serviced from Cleveland-Massillon is not correct at all, all the traffic in and out of the property is from Springside Drive. (2<sup>nd</sup> point) If you look at the map when they cut the parcel on Springside alone the applicant went one (1) property length and created a joint parcel. They took a certain distance from another B-3 and took an encroachment; they are trying to drive a hard line as to what was considered retail. Springside is a pretty quiet road and was designed to service office traffic not retail traffic and all traffic from this would be on the Springside Drive side at the intersection.

Applicant *Angelo Petitti, Petitti Garden Centers / Home & Garden Center, Plant Nursery*, responded in terms to the zoning and traffic impact, there is a light at the top of Springside, over the course of 12 months a year, aside from a 6 week period and some Saturdays/Sundays when there is the least amount of traffic, during the month of May they business does at least 40% of their annual volume and that is on Saturdays/Sundays. During the months of Mid-April to June he stated that he believes the rest of the year is negligible and should not inconvenience other offices on Springside much more than what exists currently.

*Christine Weidie-Higham* asked after today they would not see this item it would go back to the township. Yes. Engineer and township

*Robert Terry* stated that if we approve this based off of staff recommendations the township still has the last say? Yes.

*Ian Jones* added that they did receive Board of Zoning appeals approval for variance regarding pervious and impervious surface which was the only variance that they applied for. They have three applications through Bath Twp. Currently, which are Zoning Commission, Board of Zoning Appeals and Appearance review, the meetings have been held, but they are tabled until the next meeting.

*Chair Allen Mavrides*, asked are you asking the Summit County Planning Commission to approve a zoning when the township has already given approval to in some form or other? As he stated that he will not act on that.

*Stephen Knittel* stated that this was a completely separate process the rezoning is separate from any other application that has gone through.

*Ian Jones* stated that they have three (3) separate avenues that they must follow.

*Rich Reville*, stated you went to the Board of Appeals, to change from impervious to pervious or vice versa and they approved it?

*Ian Jones* answered, yes.

*Township* stated that any of the approvals that is given from appearance review for site plan were given through boards and appeals for variance were all contingent upon the rezoning, the rezoning is the factor.

*Allen Mavrides* reiterated to all members to keep in mind that this is about rezoning, would you forget about what is going there, and is this a reasonable request to rezone this property.

*Dennis Stoiber* stated that in his mind the density and intensity of use with the rezoning may be greater but would not be significantly greater. He believes the real issue is does this march down the street and is the neighboring property going to be affected by this as far as elevation and building of walls. This would be a burden by Pettitt's, and we will get to that once we see it.

SCPC Member	Motion	Second	Yea	Nay	Abstain
<b>Open</b>					
Dickinson, Erin					X
Wiedie- Higham, Christine			X		
Jones-Capers, Halle			X		
Kline, David					
Mavrides, Allen			X		
Reville, Rich		X	X		
Segedy, Jason	X		X		
Snell, Jeff					
Stoiber, Dennis			X		
Terry, Robert			X		

**Motion**

*Jason Segedy* made a motion to approve **Item#3 - 395 Springside Rezoning- Bath Township**, and it was seconded by *Rich Reville*, **all in favor, aye, Item#3 - 395 Springside Rezoning- Bath Township**, the motion was approved with   1   (Erin Dickinson) abstentions.

- Signs Text Amendments – Springfield Township** – Township is looking to revise Section 13.05 Prohibited Signs, 13.07 Permitted Signs and 13.10 Nonconforming Sign Regulations to clarify the sections and restructure the items for ease of understanding.

*Reported by Stephen Knittel:*

*Stephen Knittel* reported that the changes that the township is requesting to make the text easier to understand in these texts make more sense to staff.

Staff recommends approval.

*Representation for the Township:*

*Michelle Moyer, Springfield Township representative* explained that the text amendment is to clarify some of the language within the portion of their zoning code. The township has made an attempt in the last year to reduce the number of pole signs, remove delapidated signs, broken signs to provide a more contiguous use of signs and their appearance in the township and in their efforts, they discovered languages that were more confusing to the applicants and to staff. So, the zoning administrator and members went through the zoning codes and provided more clarity to the language.

*The red marks are new additions the struck through will be eliminated.*

*County Engineer's Office:* Joe Paradise County Engineer's office stated that he has not reviewed this text amendment in detail, however, wanted to know if there is a variance process for this item?

Example: They recently had a KFC store, and they have one (1) single pole sign, but people could not find entrance and were driving in peoples' yards to turn around to find the entrance, just want to make sure there are visible entrance ways.

*Michelle Moyer* stated that variances are always available to applicants within reason considering safety concerns and visibility, that is always an option

*Questions/Comments from the members:*

*Dennis Stoiber* asked is there a cost for applicants to request that variance?

*Michelle Moyer* stated, yes but did not know the cost off hand.

*Dennis Stoiber* asked would it make any sense to make exit and inward drive signs an allowable sign?

*Michelle Moyer* responded that this is only a portion of the sign language that has been changed, all portions of sign language have not been updated.

*Summit Soil and Water:* No comments

*Questions from the Public:* No comments

*Discussion from the members:*

*Deborah Grow, Zoning Administrator,* stated that they are not making any changes to the resolution they are just making resolutions to make the language or give the language more clarity. There is a \$250 fee to go the Board of Zoning Appeals for variances. They made changes way back and do not have pole signs anymore although there are pole signs in the township, they just wanted to clean up the language. In and out signs the owners are permitted to have.

*Erin Dickinson* stated that the resolutions state the owner is responsible for damage to the sign, wouldn't to be best for it to be removed entirely, is that an option?

*Deborah Grow* answered yes. If it is a pole sign and it gets damaged, they would have to take it down and replace it with a monument sign.

*Dennis Stoiber* stated that sometimes reading zoning codes can be a little dull, but every now and then there is something that may pique interest, however in 13.05 (I) there is something that is called a "whirligig devices" and he was happy to see that and the usage of the word in the zoning codes.

SCPC Member	Motion	Second	Yea	Nay	Abstain
<b>Open</b>					
Dickinson, Erin			X		
Wiedie- Higham, Christine	X		X		
Jones-Capers, Halle			X		
Kline, David					
Mavrides, Allen			X		
Reville, Rich			X		
Segedy, Jason			X		
Snell, Jeff					
Stoiber, Dennis			X		
Terry, Robert		X	X		

**Motion**

*Christine Wiedie-Higham* made a motion to *approve* **Item#4 - Signs Text Amendments – Springfield**, with due consideration of staff comments and it was seconded by *Robert Terry*, **all in favor, aye**, **Item#4 - Signs Text Amendments – Springfield**, the motion was *approved* with   0   abstentions.

- R-CD Text Amendment – Copley Township** – Copley Homeowners Association is requesting that the removal of 3.06 R-CD (Conservation Development) entirely as the applicants claim the regulations of the district do not achieve its stated goals.

*Reported by Stephen Knittel:*

*Stephen Knittel* reported requesting that the removal of 3.06 R-CD (Conservation Development) the applicant submitted with their application a presentation as well as letters of support from the organization. The primary concern is that the residential conservation development gives additional credit for density for things like riparian, wetlands and other areas that you cannot typically build on. Developers are getting extra credit for not building on things they cannot build on. In the example that the HOA provided this would increase the density by 200% from where the original density was which is a rather significant change for an area in a neighborhood. Staff looked at other relevant codes that have similar conservation developments and had found that Copley Township recommends increase is at 20% density which is on the high end of what is recommended while other agencies only require between 10-20%.

Staff recommendation is that rather than repealing the whole section that the township look into amending the text and maybe reducing the benefits of the residential conservation development in terms of extra density allowed to restrict that and alleviate some of those concerns of too much density.

The intension of conservation development would allow for more conservation of environmental areas that should be protected while also allowing developers to get their piece out of the land value as well. Rather than a full removal as this was put in place by the township maybe some tweaking should be involved. (ex. see City of Aurora revisions 2015).

**R-CD example:**

*The City of Aurora had implemented a Residential Conservation District in 1999. Their code originally applied to R-1 (.67 dwelling units/acre), R-2 (.33 dwelling units/acre), R-3 (1.5 dwelling units/acre), and R4 (2.5*

*dwelling units per acre). Density is calculated as “statistical” density (direct division of the total project acreage by the density required), but the Planning Commission retained the ability to adjust the density allowed, based on site and development conditions. In 2015, the applicability of the RCD code was revised to exclude the R-3 and R-4 designations. Currently, the code applies to R-1, R-2 and Mixed Use (2.5 dwelling units per acre) districts only.*

Staff recommendation is that the application be denied with due consideration of staff comments.

*Representation for the Applicant:*

*David Supelak, President of Copley Homeowners Association  
1904 Bender Lane, Copley, OH  
330-819-9094*

*David Supelak gave public thanks to the members of Copley HOA that were present this evening and many evening for the benefit of Copley Twp., officers, committee and subcommittee chairs who tirelessly invest and address community concerns and future support our community interests for Copley Twp. Thank you to all those who thrive for continuous representation of Copley Twp., advance the principals and foundations that settle the community of Copley thank you to you all.*

As follow-up from the Copley Twp’s zoning commission held January 4<sup>th</sup> discussion and their recommendation of Summit County Planning Commission the HOA thanks you for the opportunity to present the application for the complete removal of 3.06 R-CD (Conservation Development Residential District).

The goal of the application is to execute a contract with Copley Twp Zoning and trustees to prevent misuse of zoning and to preserve the character of the Copley community. As their members meet the third (3<sup>rd</sup>) Thursday of each month any recommendations of the SCPC will be considered this evening, and the HOA is not able to act any organization further than at this presented time. Town Copley 2023 comprehensive land use plan community prospective surveys in progress there is much work to do.

*Allen Mavrides* stated that he believes that you are able to act, the SCPC can only recommend however you accept the result.

*David Supelak* stated that the recommendation will be taken back to the membership and with that recommendation and with the recommendation of Copley Zoning Commission, they will speak to members in hopes to getting a contract with the township and get a resolution that is agreeable by all.

*Carl Talsma, R-CD 3.06 and HOA Committee Chair  
2116 Mayes Place, Copley, OH*

*Carl Talsma* stated that this came about as R-CD has been in their zoning code for over 13 years and had never attempted to be used until recently and that usage became more of abuse of that zoning code than what was intended. They realized that as written the section zoning code did not accomplish its stated goals. This went back to a section of Copley that was undergoing rapid development and they tried to slow that, so at this point it is inappropriate to accomplish the goals not solely from the density perspective as looted to by staff but from the consideration of the setbacks from wetlands, types and natural of structures allowed and the overall usage of the code. It also tends to be redundant with Section 3.07 which is Planned Residential Development District, which has the same set of goals but forces a development to first undergo a rezoning application rather than using an overlay that is by granted the power of the township.

The proposal is partly because they know how difficult it is to continue focus over a group of people who are volunteers to continue to work on topics such as this. They saw that it was a clean and easy concept to be completely removed since it had never been used except for one attempted time and was resulted to a high community focus for that period of time.

The issue is that they is there a roadmap laid out for developers and how to utilize what was potentially an oversights writing of the code that would allow that abuse to occur to over densify a certain area and not necessarily preserve the land that would have been preserved in the first place. They put it out to the members to try to work with the township and the current land use plan review or if it was going to be simpler to removed completed as it would not be missed as it was never used. The organization voted to completely remove which will prevent further use of this zoning code. They are here to make sure that the nature of Copley stays preserved.

When there was a realization that there was a problem, the trustees granted 1 (one) year more on the implementation of this portion of the zoning code, but they were uncertain of whether or not the vast quantity of changes that would be necessary of the negotiations that would has to take place with the zoning commission on a portion of the zoning code which is 30-37 pages. Copley has a lot of land left that is extremely sensitive and contains wetlands or has land which is predominately wetlands, and there are developers who are looking at the land and have a roadmap as to how to maximize their gain on how to build on it.

*Questions/Comments from the members:*

*Dennis Stoiber* commented that you said you had this review or attempted to be reviewed at one point in time, had this not been reviewed?

*Carl Talsma* answered, when the community officials or Board of Zoning appeals decided that part of the requirements that the developer had would not be allowed through variances, that would have stopped that particular project. But could not go into detail about this any further as there is a lawsuit from 2022 to current date.

*Discussion from the members:*

*Allen Mavrides* commented was that he has a problem with the “approval” or “denial” of text amendments and that we need to reconsider how we review text amendments.

*Helen Humphrys, HOA Sub-Committee*  
1294 Briggles road, Akron, OH

*Helen Humphrys* referred to a letter that was submitted by homeowner that addressed concerns, Eddie Arnold articulating certain points of the R-CD 3.06 text and the need for change and are not correct. Once the recommendation comes from SCPC it goes back to the zoning commission has the full authority for yea or nay, then it goes to then to the Trustees from response they can either accept or disapprove by the zoning commission, but if they disapprove it must be unanimous by all three (3) members as that is the law.

She also commented to Allen Mavrides comments and stated that they tried in the past to change how text amendments go through the chain of command and stated that townships are not like villages and cities it has to come through SCPC first then move forward to the next step.

She stated that currently there is a lawsuit, but it has been tabled for now and what they hear the developers are looking elsewhere anyway.

*County Engineer's Office:*

Joe Paradise, County Engineer's office had no comment at this time

*Representation for the Township:*

*Shawna Gfroerer, Zoning Inspector, MPA*

1540 S. Cleveland-Massillon Road, Copley, OH 44321

330-666-0108

*Shawna Gfroerer* gave information about the background of the application and the bodies that have reviewed the request thus far.

She explained on September. 12, 2023, the Board of Trustees of Copley Twp. signed a one-year moratorium for projects related to the residential conservation development district, the board requested that the text be reviewed and directed staff of the Community & Economic Development department to work with the zoning commission and public during the upcoming zoning resolution audit. It was scheduled to commence in early 2024 but has been delayed in light of the recent text amendment that has been received.

On November 12<sup>th</sup>, 2023, the Copley Twp. HOA submitted a text amendment to zoning to repeal the district.

On January 4<sup>th</sup>, 2024, Copley Twp. Zoning Commission opened a public hearing for that text amendment. During the merit of repealing regulations versus amending regulations.

*Shawna Gfroerer* stated that the township regulation mimics what the HOA would like and has been reviewed or is in review currently.

*Questions/Comments from the members:*

*Christine Weidie-Higham* asked does the township believe that they can make or propose a resolutions or revisions in the timeline of the one-year moratorium period?

*Shawna Gfroerer* answered that the one-year moratorium was put in place 9/12/2023 which gives approximately to encourage the revision.

*Jason Segedy* stated just for the record the R-CD is not a discreet geographic district, this is something that can be invoked to a new residential area in the township.

*Shawna Gfroerer* answered correct.

*Jason Segedy* reiterated a statement from the materials provided by the HOA there was a statement received the R-CD does not capture the use of land and contradicts the land use plan. Does the township have formal position or a reaction to this statement?

*Shawna Gfroerer* answered this was discussed publicly. It is in line with the comprehensive landing plan as a tool to implement conservation development with the goals and objectives within the existing plan.

*Allen Mavrides* asked, when was the latest review of the comprehensive plan?

*Shawna Gfroerer* answered, 2020.

Dennis Stoiber asked if staff recommendations have been reviewed?

Shawna Gfroerer answered the have reviewed staff recommendations and agree that there are certainly opportunities for the selections that were reviewed, especially about the density credit.

County Engineer's Office:

Joe Paradise, County Engineer's Office

Joe Paradise asked do you represent all of the HOA's combines?

David Supelak answered it's an independent organization that represents all HOA in Copley Twp. founded in 1978 that represents but does not govern and are under the ORC Authority of O.R.C. §1702.01

Summit Soil and Water: No comments

Questions from the Public: No comments

SCPC Member	Motion	Second	Yea	Nay	Abstain
<b>Open</b>					
Dickinson, Erin					X
Wiedie- Higham, Christine			X		
Jones-Capers, Halle			X		
Kline, David					
Mavrides, Allen			X		
Reville, Rich		X	X		
Segedy, Jason			X		
Snell, Jeff					
Stoiber, Dennis	X		X		
Terry, Robert			X		

**Motion**

Dennis Stoiber made a motion to deny **Item#5 - R-CD Text Amendment – Copley Township**, with recommendation that the application revisit their township and negotiate towards getting revisions that address the problems with due consideration of staff, County Engineer and member recommendation and it was seconded by Rich Reville, **all in favor, aye, Item#5 - R-CD Text Amendment – Copley Township**, the motion was denied with \_1\_(Erin Dickinson) abstentions.

- 6. **Stockpile and Breezeways Text Amendment – Richfield Township.** The applicant has proposed that the Richfield Township Zoning Resolution be advised to amend definition and language regulating stockpiles and breezeways.

Reported by Stephen Knittel:

Stephen Knittel reported the applicant would like to edit some language about stockpiles and added language about breezeways.

Staff recommendation is approval.

Representation for the Township:

Pat Ryan (outgoing retiring) with Kendall Jarrell, Zoning Inspector appointed December 2023

3038 Boston Mills Road, Brecksville, OH

Pat Ryan stated a year or two ago they brought before the commission an added a definition for breezeway and it was very over restrictive, an application came before the Board of Zoning appeals and they found flaws in the language as written, so they had revised it still wanting the definition there but revising the language to make it more friendly.

Stockpiles was something that the zoning commission felt was not necessarily being a current problem, but neighboring communities saw it as a problem and wanted to add language for that. Temporary use went along with that, so this was one of the added definitions. General provisions were just clarifications for stockpile and breezeway.

*Questions/Comments from the members:*

Allen Mavrides read the new added:

**TEMPORARY USE**

A use established for a limited duration with the intent to discontinue such use upon the expiration of a designated time period.

Pat Ryan explained that this will be for the zoning commission to look at to determine at least what temporary uses they want to add or will have their own expiration.

Allen Mavrides asked the expiration will be on a form somewhen

Pat Ryan answered, yes.

County Engineer's Office: No comments

Summit Soil and Water: No comments

Questions from the Public: No comments

Discussion from the members: No further discussion from the members.

SCPC Member	Motion	Second	Yea	Nay	Abstain
<b>Open</b>					
Dickinson, Erin			X		
Wiedie- Higham, Christine			X		
Jones-Capers, Halle			X		
Kline, David					
Mavrides, Allen			X		
Reville, Rich		X	X		
Segedy, Jason			X		
Snell, Jeff					
Stoiber, Dennis	X		X		
Terry, Robert			X		

**Motion**

*Dennis Stoiber* made a motion to *approve* **Item#6 - Stockpile and Breezeways Text Amendment – Richfield Township**, and it was seconded by *Rich Reville*, *all in favor, aye, Item#6 - Stockpile and Breezeways Text Amendment – Richfield Township*, the motion was *approved* with   0   abstentions.

7. **Rosemont Ridge – City of Fairlawn & Copley Township** – site is located East of Rothrock Road with access from intersection of Sawgrass Drive and Forest Oaks Drive, the proposed development is twenty (20) lots ; eighteen (18) of the lots and storm water control are within the City of Fairlawn and two (2 ) of the lots are in Copley Township splitting what would be currently parcel 1508654.

*Reported by Stephen Knittel:*

*Stephen Knittel* reported there is a previous relation of this plan which that there was as stormwater pond that was in the township portion which got the County Engineer and the planning unit involved in terms of the review. They have since moved the stormwater out of the township and is entirely within the city built to city standards because there is a difference between city standards and county standards which was causing conflict. With that there are no further issues from planning.

Staff recommendation is approval.

*Questions/Comments from the members:*

*Dennis Stoiber* asked, has this already been approved by the city?

*Stephen Knittel* answered, they are waiting to hear from us before they do the final. They have had preliminary staging, as their staging process is a little different from ours. They have received the plan and are happy per his knowledge.

*Marvin Evans* asked, they actually moved the pond off the Copley parcel.

*Stephen Knittel* asked, yes.

*Rich Reville* asked, what is the city waiting for us to make a decision on?

*Stephen Knittel* answered, when the stormwater pond was in the township it was sent up to legal, the township is waiting on our recommendation, before moving forward. Essentially this could have been done administratively, but it felt cleaner to bring it upon the planning commission.

*Representation for the Applicant:*

*David M Kolar, Cambridge Service Company*

130 West Streetsboro Street

330-650-2549

*Dave Kolar* explained that the plan meets the original preliminary plan, but a portion of the storm detention was in Copley Township, so they eliminated one (1) in Fairlawn so that they could move the basin completely out of the township by suggestion of Tim Boley, County Engineer's office and they agreed.

*County Engineer's Office:*

*Joe Paradise, County Engineer's Office*

*Joe Paradise* clarified when you build a detention pond, they access the property owners for perpetual maintenance, long term, etc. Being that we would be building a pond in Copley Twp. We would have to be

accessing Fairlawn residents, if you move the pond homes go away and it would become a normal home on a city lot.

*Allen Mavrides* read comments from Tim Boley, County Engineers office.

*Representation for the Township:*

*Shawna Gfroerer, Zoning Inspector, MPA*  
 1540 S. Cleveland-Massillon Road, Copley, OH 44321  
 330-666-0108

*Shawna Gfroerer* stated that they have reviewed the project a little differently from a regular subdivision split and the applicant received an approval for a lot split with access drive and easement to access the second lot. This was a traditional lot split the subdivision review was pending how the basin was going to be placed would it be in the City of Fairlawn otherwise there would be no services that would be provided by Copley Township, but they have no issues with the project.

*Summit Soil and Water:* No comments

*Questions from the Public:* No comments

*Discussion from the members:*

SCPC Member	Motion	Second	Yea	Nay	Abstain
<b>Open</b>					
Dickinson, Erin			X		
Wiedie- Higham, Christine		X	X		
Jones-Capers, Halle			X		
Kline, David					
Mavrides, Allen			X		
Reville, Rich			X		
Segedy, Jason	X		X		
Snell, Jeff					
Stoiber, Dennis			X		
Terry, Robert			X		

**Motion**

*Jason Segedy* made a motion to *approve Item#7 - Rosemont Ridge – City of Fairlawn & Copley Township* – and it was seconded by *Christine Weidie-Higham, all in favor, aye, Item#7 - Rosemont Ridge – City of Fairlawn & Copley Township*, the motion was *approved* with   0   abstentions.

**(Cont.) Item# 2 Heartridge Final Plat Ph. 2 – Sagamore Hills Township** – Proposing 24 sublots and the creation of Timberidge Circle (public) and Kennaridge Circle (public) off of Heartridge Drive (public).

*Reported by Stephen Knittel:*

*Representation for the Township:* Applicant was not present

*Questions/Comments from the members:*

*County Engineer's Office:*

*Summit Soil and Water:*

*Questions from the Public:*

*Discussion from the members:*

SCPC Member	Motion	Second	Yea	Nay	Abstain
<b>Open</b>					
Dickinson, Erin			X		
Wiedie- Higham, Christine			X		
Jones-Capers, Halle			X		
Kline, David					
Mavrides, Allen			X		
Reville, Rich	X		X		
Segedy, Jason		X	X		
Snell, Jeff					
Stoiber, Dennis			X		
Terry, Robert			X		

**Motion**

*Rich Reville* made a motion to *table* **Item#2 - Heartridge Final Plat Ph. 2 – Sagamore Hills Township**, and it was seconded by *Jason Segedy*, ***all in favor, aye, Item#2 - Heartridge Final Plat Ph. 2 – Sagamore Hills Township***, the motion was *tabled* with   0   abstentions.

**Old Business**

None

E. Report from Assistant Director

**Assistant Director Dennis Tubbs**

**George Beckham**

Assistant Director, Dennis Tubbs, reported that George Beckham resigned, and we are looking to replace him.

Assistant Director, Dennis Tubbs made a motion to the members to approve the 2024 Summit County Planning Commission calendar.

SCPC Member	Motion	Second	Yea	Nay	Abstain
<b>Open</b>					
Dickinson, Erin			X		
Wiedie- Higham, Christine	X		X		
Jones-Capers, Halle			X		
Kline, David					
Mavrides, Allen			X		
Reville, Rich			X		
Segedy, Jason			X		
Snell, Jeff					
Stoiber, Dennis		X	X		
Terry, Robert			X		

**Motion**

*Christine Weidie-Higham* made a motion to *approve 2024 Summit County Planning Commission calendar*, and it was seconded by *Dennis Stoiber*, ***all in favor, aye, 2024 Summit County Planning Commission calendar***, the motion was *approved* with   0   abstentions.

F. Comments from Public **Chair Allen Mavrides**  
**No further comments from the public**

G. Comments from Commission Members **Chair Allen Mavrides**  
**No further comments from the Commission members**

H. Other **Attorney Marvin Evans**  
 1. Legal Update

Delfino case updates are on the February agenda which is the Kings Ridge Drive – Riparian Variance. Attorney Evans stated that the applicant has preliminary approval for the septic system that they are trying to put in with Summit County Public Health.

I. Adjournment **Chair Allen Mavrides**

*Chair Allen Mavrides* entertained a motion to adjourn the Thursday, January 18<sup>th</sup>, 2024 - SCPC monthly meeting.

SCPC Member	Motion	Second	Yea	Nay	Abstain
<b>Open</b>					
Dickinson, Erin			X		
Wiedie- Higham, Christine			X		
Jones-Capers, Halle			X		
Kline, David					
Mavrides, Allen			X		
Reville, Rich	X		X		
Segedy, Jason			X		
Snell, Jeff					
Stoiber, Dennis		X	X		
Terry, Robert			X		

**Motion:**

*Rich Reville* made a motion to ***adjourn***, the Thursday, January 18<sup>th</sup>, 2024, SCPC Meeting and it was seconded by *Dennis Stoiber*, ***all in favor, aye***, the Thursday, January 18<sup>th</sup>, 2024, SCPC Meeting, the , the Thursday, January 18, 2024, SCPC Meeting was *adjourned* with 0 abstentions at 4:57 p.m.

*These minutes were recorded, prepared, and represent the writer's best recollection of the items discussed by:  
Tazena Long, Executive Assistant  
Department of Community and Economic Development  
Friday, January 29, 2024 @ 10:27 a.m.*



Planning Commission  
 Preliminary Plan  
**Kingdom Preserve**  
 Springfield Township

## EXECUTIVE SUMMARY

Located in Springfield Township off of Killian Road, east of the intersection with Pickle Rd. Applicant proposes 36 Units and a permanent cul-de-sac.

Staff recommends the SCPC **TABLE** this Preliminary Plan so that the Applicant can address comments from the Township and the Summit County Engineer's Office.

<b>Item No.:</b>	1	<b>Lots:</b>	36 Units
<b>Meeting:</b>	December 21, 2023	<b>Streets:</b>	50' R/W
<b>Developer:</b>	Rick Kiphen	<b>Utilities:</b>	DSSS & Akron Water
<b>Parcel No.:</b>	5110230	<b>Council District:</b>	District 8
<b>Zoning:</b>	O-C & R-2		
<b>Area:</b>	21.2632 Acres	<b>Processor:</b>	Stephen Knittel

### Plan History:

- There was a Concept Plan Meeting held on June 2, 2023.
- There was a site visit on November 16, 2023.

**Site Conditions:** County GIS shows Riparian and wetlands along the southern portion of the parcel.

<b>Zoning:</b> The Zoning of the site is O-C (Open Space Conservation) and R-2 (Residential)			
Direction	Zoning	Land Use	Municipality
North	O-R	Residential	Springfield Township
East	R-2	Residential	Springfield Township
South	O-C & R-2	Residential	Springfield Township
West	O-c & R-2	Church	Springfield Township

**Proposal:** Applicant proposes 36 Units and a permanent cul-de-sac.

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**Agency Comments:** *Italicized text indicates quotations from submitted agency comments.*

**SCE:** Andy Dunchuck, 12/18/2023: *Our office has reviewed the above referenced and attached Preliminary Plan and has the following comments. If you have any questions regarding this matter, please contact our office.*

1. *All Stormwater Management for the site must follow the SCE Stormwater Drainage Manual, Current Edition (Revised 1/1/20). All SWM Facilities must be located outside of the Wetland and Riparian Setbacks and the 100-Year Flood Plain. In addition, the outlet pipe for the proposed SWM Basin must have an adequate outlet.*
2. *A 100-Year Overland Flow Path across the site to the SWM Facility is required. When the flow path is located outside of the Access and Utility Easement/R/W, it must be centered in a minimum 30' wide SWM Easement.*
3. *Review Fees to comply with Summit County Ordinance 943 must be submitted. The non-refundable application fee is \$250 and ½ the estimated review fee is \$2,801.40, for a total amount of \$3,051.40. The check should be made payable to: Summit County Engineer, 538 East South Street, Akron, Ohio 44311.*
4. *The Intersection Sight Distance for proposed access onto Killian Road must be verified for a Design Speed equal to 45-mph.*
5. *A Traffic Impact Questionnaire for the project must be completed to determine if additional Studies are warranted.*
6. *Since the proposed road will be servicing 36 Units, the road is classified as a Residential Medium Traffic Road which requires a minimum 26' Wide Pavement (Curb and Gutter) or 24' (Open Ditch). In addition, the plan indicates a 50' Access and Utility Easement in lieu of R/W. Is this being proposed as a Private Subdivision?*
7. *A minimum tangent of at least 100' is required between reverse curves.*
8. *Kingdom Way must intersect Killian Road at an angle not less than 70-Degrees. In addition, the intersecting road must have a minimum tangent distance of at least 100'.*
9. *All Catch/Inlet Basins, Storm Manholes, Headwalls, Monument Boxes, Curb and Gutter, etc... utilized on this project must follow Current ODOT Standard Construction Drawings.*
10. *An additional 10' of R/W or permanent Highway Easement along the frontage of the South side of Killian Road shall be dedicated to Summit County for future road improvement purposes.*
11. *Provide a Wetland Delineation for the Project.*
12. *Part of Unit 22 and all of Units 23 and 24 are located within the 100-Year Flood Plain.*

- 
13. *The Proposed Utilities must be located outside of the pavement.*
  14. *A Road Opening Permit will be required for the proposed work within the R/W of Killian Road*

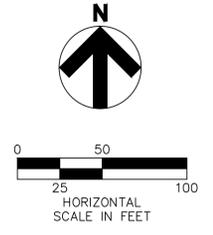
**Springfield Township:** Debra Grow, 12/12/2023:

*I have reviewed the preliminary plans for Kingdom Preserve. I was not part of the original review procedure on any of this so I am coming in a little blind on this development but here is what has surfaced for me.*

1. *It does not appear that our Riparian setback standards have been taken into account. All of our setback standards have greater adjustments than Summit County's as of July 2023. I have attached the entire Riparian Setback Standards document. I have also attached parts of this document where I have highlighted sections that show greater adjustments that would apply. From what I can tell, it looks like condo 21, 22, 23, 24, 29, 30, 35, 36 may all be affected.*
2. *As for rear setbacks, condo 1, 18, 19, 20, 33, 35 may not be set back at least 40'.*
3. *Is there 10' between all condos at their closest points?*
4. *Does the common drive allow a 10' easement next to it? What is the width of it and there is no turn-around.*
5. *Is the distance between the rear of condo 34 to the front of condo 35 at least 60' and condo 25 to 24?*
6. *Is this a private road or a public road?*

**Recommendation:** It is Staff's recommendation that the SCPC **Table** this Preliminary Plan so the applicant can address Township and SCE concerns and to submit applications for any variances required.

PRD REQUIREMENTS		
	REQUIREMENT PER PLAN	ACTUAL
OPEN SPACE	13.3514 AC	13.3514 AC
TOTAL UNITS	36 UNITS	36 UNITS



**LEGEND**

	PROPOSED WALKING TRAIL
	PROPOSED LIMITED COMMON AREA
	BUILDING SETBACK LINE
	COMPOSITE SETBACK LINE
	100 YEAR FLOOD PLAIN LIMITS
	75' RIPARIAN SETBACK
	EXISTING WATER LIMITS
	PROPOSED CURB
	PROPOSED 50' ACCESS & UTILITY EASEMENT
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING PROPERTY LINE
	PHASE 4 BOUNDARY LINE
	OBSERVED WETLANDS AREA
	DELINEATED WETLANDS AREA
	OPEN SPACE AREA

**SITE PLAN**  
SCALE: 1" = 50'-0"

**INTEGRITY**  
CONTRACTING AND  
DEVELOPMENT LLC.

NEW DEVELOPMENT PLANS FOR:  
**KINGDOM PRESERVE**  
KINGDOM WAY / SPRINGFIELD TOWNSHIP, OHIO

Site Plan

Project number:  
Date: 01-12-2023  
Revisions:

Drawn by:  
Checked by:  
**C101**  
Scale: See Plan

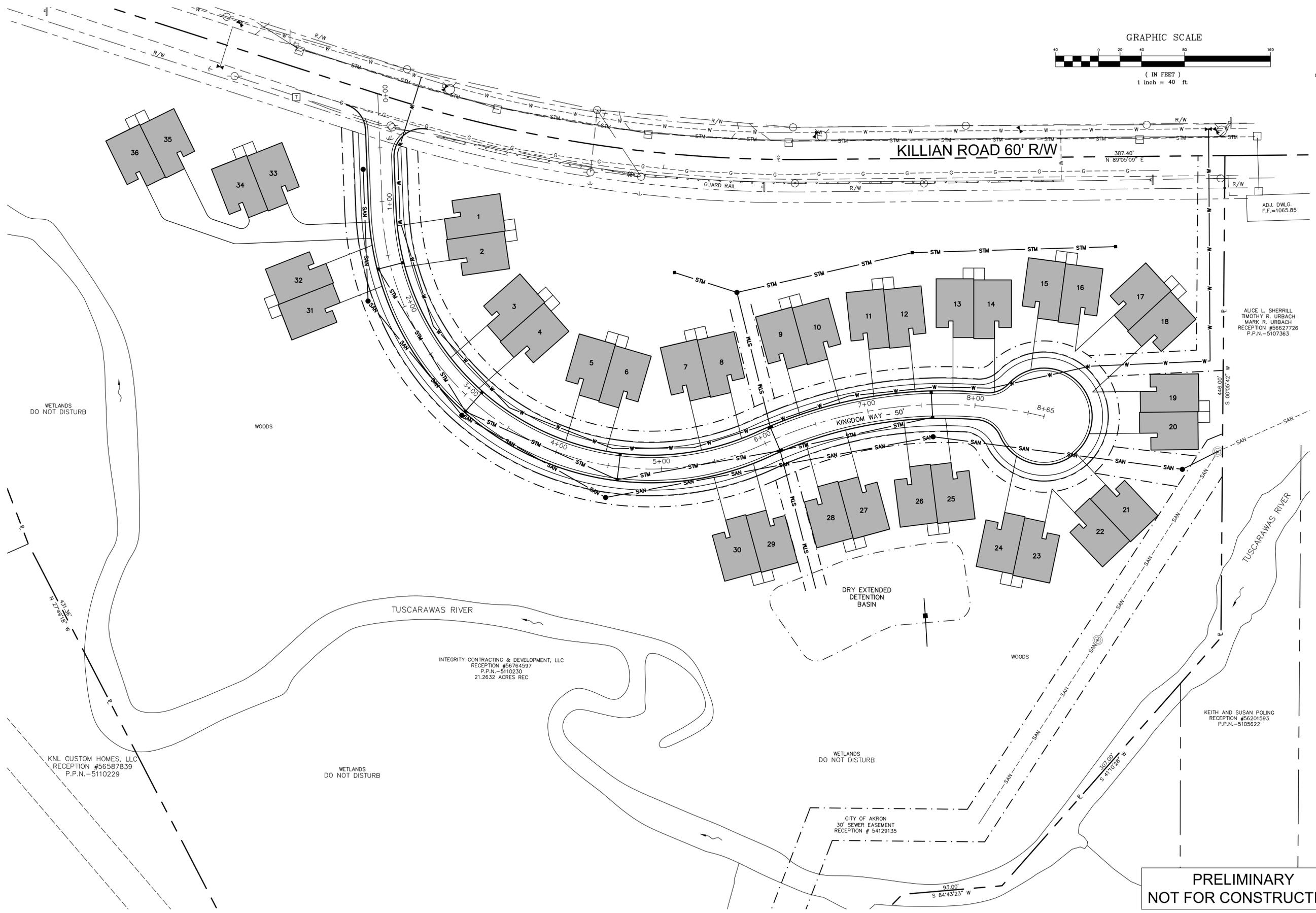
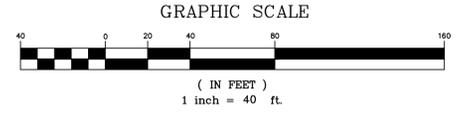
NO	DATE	DESCRIPTION	BY

OVERALL UTILITY PLAN

**HETTLER · LARGENT**  
 Civil & Construction Consultants  
 1225 North Main Street | Suite A | North Canton, OH 44720  
 PH: (330) 766-1776 | MOBILE: (330) 385-2521  
 hlargent@hettlerlargent.com | www.hettlerlargent.com



KINGDOM PRESERVE  
 SPRINGFIELD TOWNSHIP  
 SUMMIT COUNTY, OHIO



**PRELIMINARY  
 NOT FOR CONSTRUCTION**

DATE: NOVEMBER 2023

NO	DATE	DESCRIPTION	BY

OVERALL GRADING PLAN

HETTLER · LARGENT  
Civil & Construction Consultants

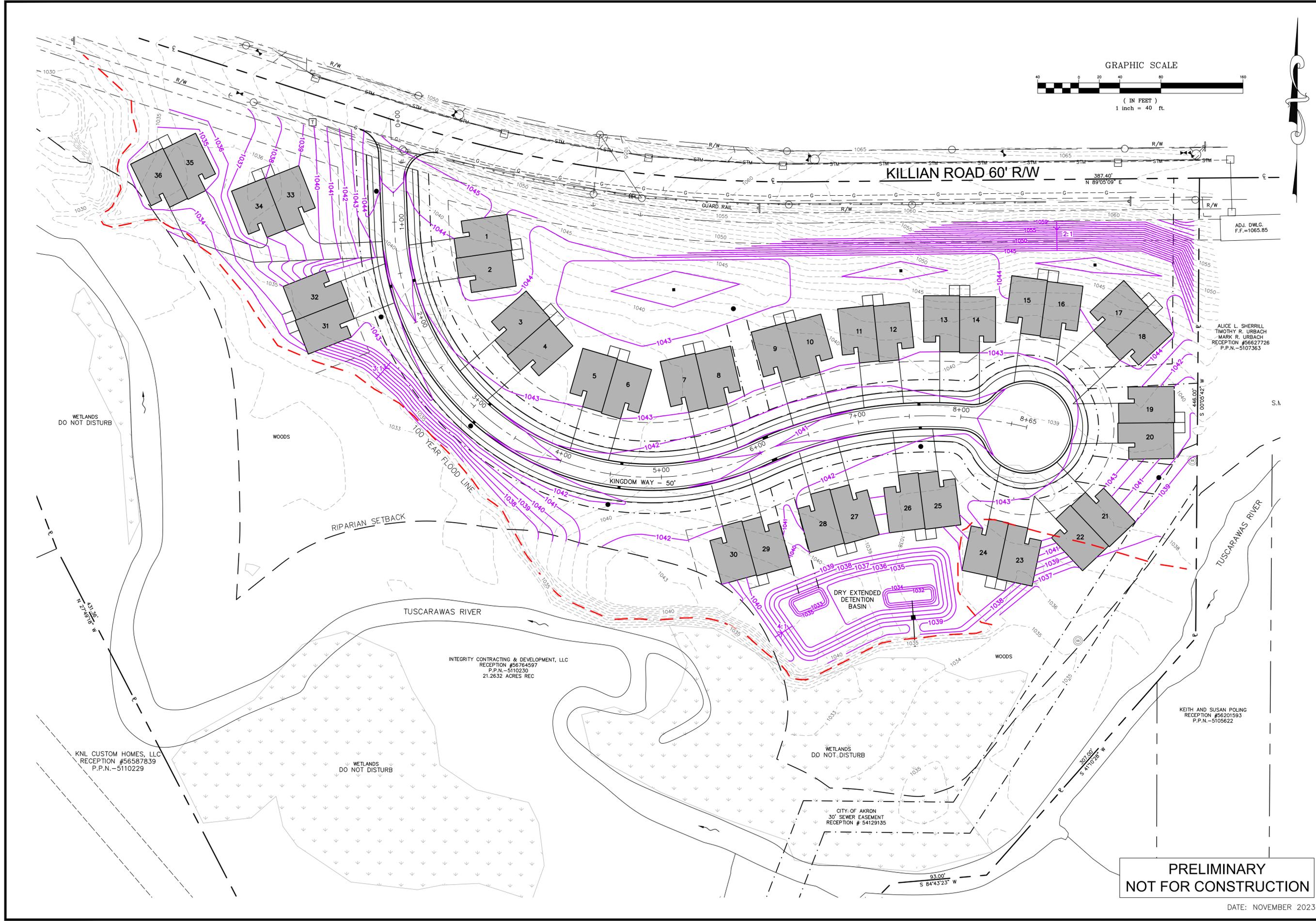


1225 North Main Street | Suite A | North Canton, OH 44720  
PH: (330) 966-1776 | MOBILE: (330) 385-2521  
rlargent@hettlerlargent.com | www.hettlerlargent.com

KINGDOM PRESERVE  
SPRINGFIELD TOWNSHIP  
SUMMIT COUNTY, OHIO

PRELIMINARY  
NOT FOR CONSTRUCTION

DATE: NOVEMBER 2023



NO	DATE	DESCRIPTION	BY

DETENTION BASIN PLAN

**HETTLER · LARGENT**  
Civil & Construction Consultants  
1225 North Main Street | Suite A | North Canton, OH 44720  
PH: (330) 766-1776 | MOBILE: (330) 865-2521  
rlargent@hettlerlargent.com | www.hettlerlargent.com



KINGDOM PRESERVE  
SPRINGFIELD TOWNSHIP  
SUMMIT COUNTY, OHIO



**WATER QUALITY BASIN / TEMPORARY SEDIMENT BASIN**

TOTAL DRAINAGE AREA	2.94 AC.
TOTAL DISTURBED AREA	4.03 AC. ±
TOP OF EMBANKMENT	1039.00
BOTTOM OF BASIN	1034.50
WATER QUALITY VOLUME (REQUIRED)	9,716 CF
WATER QUALITY VOLUME ELEVATION	1036.75
WATER QUALITY VOLUME @ 1036.75 (PROVIDED)	14,182 CF ±

**FOREBAY VOLUME TABLE**

REQUIRED VOLUME FOR FOREBAY AND MICRO-POOL  
0.10 x WQv (9,716 x 0.10) = 972 CF

FOREBAY		
ELEVATION	AREA (SF)	CUMMULATIVE VOLUME (CF)
1033.0	335	0
1034.0	502	419
1035.0	693	1,016

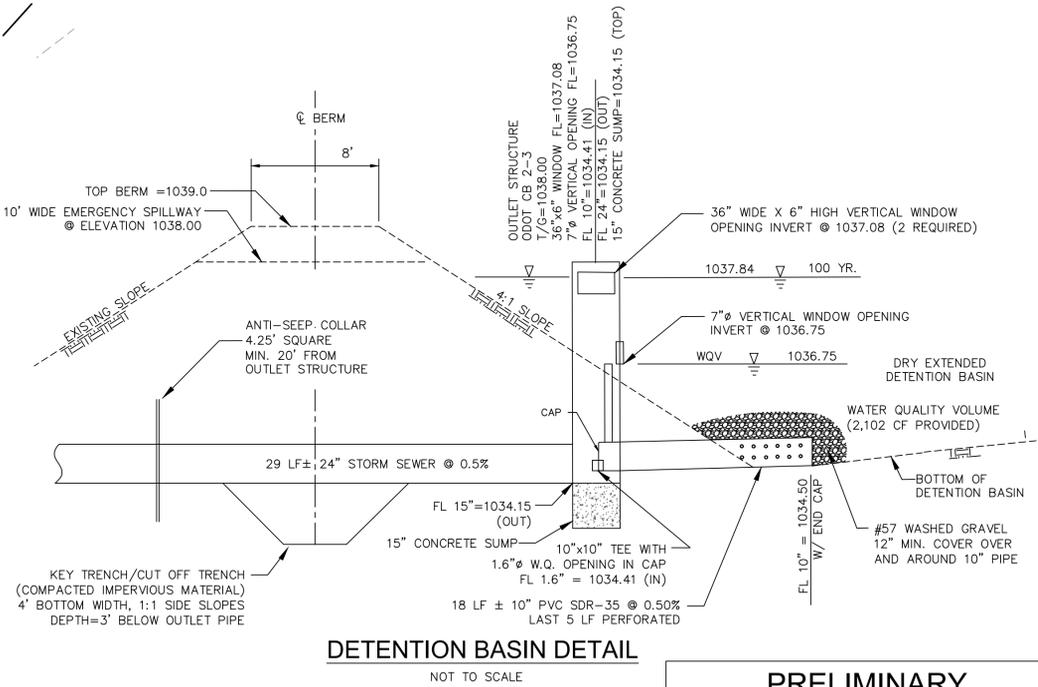
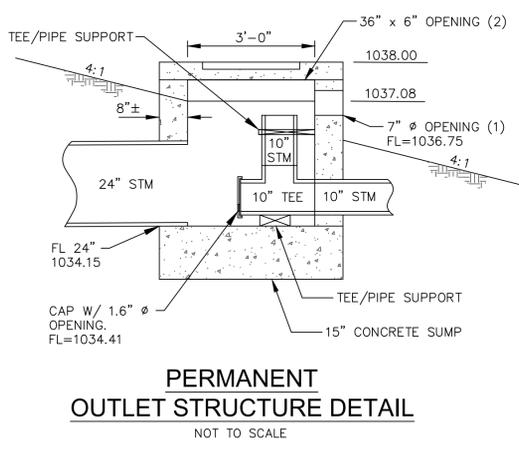
**MICRO-POOL VOLUME TABLE**

REQUIRED VOLUME FOR FOREBAY AND MICRO-POOL  
0.10 x WQv (9,716 x 0.10) = 972 CF

MICRO-POOL		
ELEVATION	AREA (SF)	CUMMULATIVE VOLUME (CF)
1032.0	442	0
1033.0	661	552
1034.0	905	1,335



**DRY EXTENDED DETENTION BASIN**  
SCALE: 1" = 20'



**PRELIMINARY NOT FOR CONSTRUCTION**

DATE: NOVEMBER 2023



County of Summit - The High Point of Ohio

Planning Commission  
 Final Plat, Phase 2  
**Heartridge**  
 Sagamore Hills Township

## EXECUTIVE SUMMARY

Located in Sagamore Hills Township off of Dunham Road, south of the terminus of Hawthorne Drive. Applicant proposes 24 Sublots and the extension of Heartridge Drive and the creations of Kennaridge Circle and Timberidge Circle.

Staff recommends **APPROVAL**.

<b>Item No.:</b> 2	<b>Lots:</b> 24 sublots
<b>Meeting:</b> December 21, 2023	<b>Streets:</b> 50' R/W Public
<b>Developer:</b> Paul Karnow	<b>Utilities:</b> DSSS & Cleveland Water
<b>Engineer:</b> Weber Engineering Services	
<b>Parcel No.:</b> 4505468, 4503628, 4501371	<b>Council District:</b> District 1
<b>Zoning:</b> Residential	
<b>Area:</b> 87.26023 Acres	<b>Processor:</b> Stephen Knittel

### Plan History:

- There was a Concept Plan Meeting held on September 7, 2018.
- There was a site visit on November 8, 2018
- Preliminary Plan was approved November 15, 2018.
- Final Plat for Phase 1 was approved in 2021.

**Site Conditions:** County GIS shows some wetlands present on the site near the terminus of West Hill Drive.

<b>Zoning:</b> The Zoning of the site is R (Residential)			
Direction	Zoning	Land Use	Municipality
North	R	Residential	Walton Hills, Cuyahoga County
East	R	Residential	Sagamore Hills Township
South	R	Residential	Sagamore Hills Township
West	R	Residential	Sagamore Hills Township

**Proposal:** The applicant proposes 24 Sublots and the extension of Heartridge Drive and the creations of Kennaridge Circle and Timberidge Circle.

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**Agency Comments:** *Italicized text indicates quotations from submitted agency comments.*

**SCE:** Andy Dunchuck, 12/18/2023: *Our office has reviewed the above referenced and attached Final Plat that is scheduled for the December 21, 2023 SCPC meeting and the Plat is acceptable as submitted.*

**SCPHD:** Sasha Mikheidze, 11/30/2023:

*The Summit Soil and Water Conservation District reviewed a preliminary plan for a proposed development located in Copley Township.*

**Soils:** *The Summit County Soil Survey identifies 3 different soil types on the portion of land being proposed for development. They are as follows (in descending order), WaA, RsB and WaB. Both WaA and WaB are considered to soils with hydric inclusions. These soil types can be indicators to wetlands being present. In this instance, that is not a concern as this area has already been cleared, grubbed and stabilized.*

**Riparian and wetlands setbacks:** *Phase 2 contains no wetlands or riparian setbacks as that entire area has been previously cleared, grubbed and stabilized.*

**Storm Water Pollution Prevention Plan and Post Construction Requirements:** *A Storm Water Pollution Prevention Plan (SWPPP) must be developed for this site and submitted to the Summit SWCD office along with the improvement drawings for our approval. Please refer to the SWPPP checklist (Summit SWCD Web Page) for SWPPP requirements. There shall be no clearing, grubbing or earth moving activities without an approved SWPPP and pre-construction meeting with the SWCD staff & City.*

**Note:** *The Ohio Environmental Protection Agency requires the Owner/Operator of any site where more than one acre will be disturbed to file a Notice of Intent and obtain an NPDES Permit.*

*This site will require the use of post construction storm water quality improvement features. All stormwater flow exiting this site must be treated by a structural post-construction water quality practice. A SWPPP for this site has been developed and approved by this office on 9-29- 2020. A maintenance agreement has also been*

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*created and approved by the appropriate agencies.*

**Recommendation:** It is Staff's recommendation that the SCPC **APPROVE** this Final Plat.

# HEARTRIDGE SUBDIVISION PHASE 2

SITUATED IN THE TOWNSHIP OF SAGAMORE HILLS, COUNTY OF SUMMIT AND STATE OF OHIO  
AND KNOWN AS BEING PART OF ORIGINAL NORTHFIELD TOWNSHIP LOT NOS. 71, 81 AND 82.

### ACCEPTANCE, DEDICATION AND GRANT OF EASEMENTS

I, PAUL KARNOW, MEMBER OF SAGAMORE LAND PROPERTIES LLC, AN OHIO LIMITED LIABILITY COMPANY, OWNER OF THE LAND EMBRACED WITHIN THIS PLAT, DO HEREBY ACCEPT THIS PLAT TO BE THE FREE ACT AND DEED OF SAID SAGAMORE LAND PROPERTIES LLC, AND DO HEREBY DEDICATE TO PUBLIC USE FOREVER THAT PORTION OF LAND OWNED BY IT INCLUDED IN HEARTRIDGE DRIVE, KENNRIDGE CIRCLE, TIMBERIDGE CIRCLE AND THE EASEMENTS AS SHOWN HEREON. I HEREBY ALSO GRANT UNTO THE SUMMIT COUNTY DEPARTMENT OF SANITARY SEWER SERVICES THE SANITARY SEWER EASEMENTS (INCLUDING THE RIGHT TO ACCESS AND INGRESS AND EGRESS TO AND FROM THE SAME) OF THE WIDTHS AND LOCATIONS SHOWN, UNDER AND THROUGH THE SUBLOTS AND ALL ITS LAND SHOWN HEREON FOR THE MAINTENANCE, REPAIR AND OPERATION OF THE SANITARY SEWERS AND RELATED FACILITIES LOCATED THEREON.

I DO ALSO HEREBY GRANT UNTO THE COUNTY OF SUMMIT THE STORM SEWER EASEMENTS AND STORMWATER MANAGEMENT EASEMENT AS SHOWN HEREON AND SO LABELED ON THE PLAT WITHIN THIS SUBDIVISION ALONG WITH RIGHTS AND RESPONSIBILITIES TO ACCESS, LAY, MAINTAIN, AUGMENT, REPLACE, OR REMOVE, PIPE, MANHOLES, DITCHES, SWALES, AND/OR APPURTENANCES. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT WITHOUT LIABILITY THEREFORE TO REMOVE TREES AND LANDSCAPING, INCLUDING LAWNS, WITHIN SAID EASEMENT PREMISES WHICH MAY INTERFERE WITH THE INSTALLATION, MAINTENANCE, REPAIR OR OPERATION OF SAID PIPE, MANHOLES, DITCHES, SWALES, AND/OR APPURTENANCES.

I DO ALSO HEREBY GRANT UNTO THE "HEARTRIDGE SUBDIVISION OWNERS' ASSOCIATION", AS REFERENCED IN THE DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS HEARTRIDGE SUBDIVISION, SAGAMORE TOWNSHIP, SUMMIT COUNTY, OHIO, THE RIGHTS AND RESPONSIBILITIES TO MAINTAIN THE LAND AND FACILITIES WITHIN THE STORM SEWER EASEMENT AND STORMWATER MANAGEMENT EASEMENT IN ACCORDANCE WITH THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AS RECORDED IN SUMMIT COUNTY DOCUMENT NO. \_\_\_\_\_.

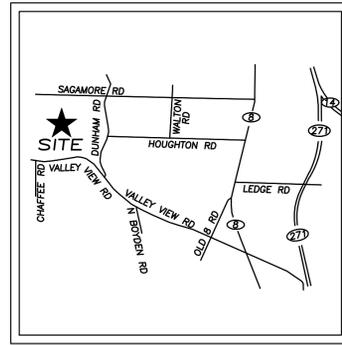
\_\_\_\_\_  
PAUL KARNOW, MEMBER

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS:

BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED SAGAMORE LAND PROPERTIES LLC, AN OHIO LIMITED LIABILITY COMPANY BY PAUL KARNOW, ITS MEMBER, WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING INSTRUMENT, AND THAT THE SAME WAS HIS FREE ACT AND DEED INDIVIDUALLY AND IN SUCH CAPACITY, AND THE FREE ACT AND DEED OF SAID LIMITED LIABILITY COMPANY.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT \_\_\_\_\_, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC  
PRINT NAME: \_\_\_\_\_



VICINITY MAP

### PHASE 2 SUBDIVISION AREA TABULATION

NUMBER OF SUBLOTS	24
AREA OF SUBLOTS	6.3946 AC.
AREA OF BLOCK D	1.8672 AC.
AREA OF BLOCK A REMAINDER	77.2553 AC.
AREA OF HEARTRIDGE DRIVE, KENNRIDGE CIRCLE AND TIMBERIDGE CIRCLE	1.7432 AC.
TOTAL AREA	87.2603 AC.

TITLE	INDEX OF SHEETS	SHEET No.
TITLE SHEET	_____	1
OVERALL PROPERTY	_____	2
SUBDIVISION DETAILS	_____	3-4

### FLOOD\_ZONE

SUBJECT PREMISES IS LOCATED IN ZONE X PER FEMA FLOOD INSURANCE RATE MAP NO. 39153C0030E, EFFECTIVE DATE JULY 20, 2009.

### BASIS OF BEARINGS

BEARINGS ARE REFERENCED TO GRID NORTH OF THE OHIO STATE PLANE COORDINATE SYSTEM NORTH ZONE, NAD 83 (2011) DATUM.

### STATE PLANE COORDINATES

STATE PLANE COORDINATES WERE ESTABLISHED BY GPS OBSERVATION

GRID FACTOR (COMBINED SCALE FACTOR) = 0.99995085

### SURVEYOR CERTIFICATION:

I HEREBY STATE THAT THIS MAP IS BASED ON AN ACTUAL FIELD SURVEY PREPARED BY ME. THE SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF. PERMANENT MONUMENTS WERE FOUND OR SET AT ALL LOCATIONS SHOWN HEREON. ALL DIMENSIONS GIVEN ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF.

*Christopher J. Dempsey*  
CHRISTOPHER J. DEMPSEY  
PROFESSIONAL SURVEYOR NO. 6914



### APPROVALS

THIS PLAT OF HEARTRIDGE SUBDIVISION PHASE 2, THE GRANTING OF EASEMENTS FOR PUBLIC FACILITIES AND APPURTENANCES, AND THE DEDICATION OF PUBLIC STREETS HAS BEEN APPROVED BY:

SUMMIT COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRMAN \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

SECRETARY \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

SUMMIT COUNTY ENGINEER THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SUMMIT COUNTY ENGINEER \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

TOWNSHIP ZONING INSPECTOR THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

TOWNSHIP ZONING INSPECTOR \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

SUMMIT COUNTY COUNCIL

ORDINANCE \_\_\_\_\_ THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PRESIDENT OF COUNCIL \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

CLERK OF COUNCIL \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

SUMMIT COUNTY EXECUTIVE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SUMMIT COUNTY EXECUTIVE \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

### UNDERGROUND UTILITY EASEMENT:

THE OWNER OF THE WITHIN PLATTED LAND, DOES HEREBY GRANT UNTO THE DOMINION ENERGY, EAST OHIO GAS COMPANY, DOMINION EAST OHIO, WINDSTREAM WESTERN RESERVE TELEPHONE, OHIO EDISON COMPANY, FIRST ENERGY, TIME WARNER CABLE, SPECTRUM, NORTH HILLS WATER DISTRICT, ALL OHIO CORPORATIONS, THEIR SUCCESSORS AND ASSIGNS AND THE COUNTY OF SUMMIT (HEREINAFTER REFERRED TO AS THE GRANTEE) A PERMANENT RIGHT OF WAY AND EASEMENT TWELVE (12) FEET IN WIDTH UNDER, OVER AND THROUGH ALL SUBLOTS AND ALL LANDS SHOWN HEREON AND PARALLEL WITH AND CONTIGUOUS TO ALL STREET LINES, OR ALONG THE LINES OF THE THIRTEEN (13) FOOT WATER EASEMENT AS SHOWN, TO CONSTRUCT, PLACE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT AND RELOCATE SUCH ABOVE AND UNDERGROUND STORM SEWER FACILITIES, GAS FACILITIES, ELECTRIC AND COMMUNICATIONS CABLES, DUCTS, CONDUITS, SURFACE OR BELOW GROUND MOUNTED TRANSFORMERS AND PEDESTALS, CONCRETE PADS AND OTHER FACILITIES AS ARE DEEMED NECESSARY OR CONVENIENT BY THE GRANTEE FOR DISTRIBUTING AND TRANSMITTING NATURAL GAS SERVICE, ELECTRICITY AND COMMUNICATION SIGNALS, FOR PUBLIC AND PRIVATE USE AT SUCH LOCATIONS AS THE GRANTEE MAY DETERMINE UPON, WITHIN AND ACROSS SAID EASEMENT PREMISES. SAID EASEMENT RIGHTS ALLOW FOR ACCESS ACROSS THE SURFACE OF THE THIRTEEN (13) FOOT WATER EASEMENT FOR MEANS OF ACCESS TO THE TWELVE (12) FOOT UTILITY EASEMENT. SAID THIRTEEN (13) FOOT WATER EASEMENT SHALL BE EXCLUSIVE TO THE NORTH HILLS WATER DISTRICT, ITS SUCCESSORS AND ASSIGNS ONLY EXCEPT FOR OTHER UTILITY ACCESS ABOVE AND BELOW GROUND WHICH WILL CROSS THE EASEMENT PERPENDICULAR TO THE EASEMENT LINE. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT, WITHOUT LIABILITY THEREFORE, TO REMOVE ANY AND ALL FACILITIES NOT CONTEMPLATED IN THE RIGHTS CONVEYED TO GRANTEE BY THIS EASEMENT GRANT WITHIN SAID EASEMENT PREMISES INCLUDING, BUT NOT LIMITED TO, IRRIGATION SYSTEMS, ELECTRONIC ANIMAL FENCING, TREES AND LANDSCAPING INCLUDING LAWNS, FLOWERS OR SHRUBBERY AND LANDSCAPE LIGHTING WITHIN AND WITHOUT SAID EASEMENT PREMISES WHICH MAY INTERFERE WITH THE INSTALLATION, MAINTENANCE, REPAIR OR OPERATION OF SAID ELECTRIC AND COMMUNICATION FACILITIES, THE RIGHT TO INSTALL, REPAIR, AUGMENT AND MAINTAIN SERVICE CABLES OUTSIDE THE ABOVE DESCRIBED EASEMENT PREMISES, AND WITH THE RIGHT OF ACCESS, INGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES FOR EXERCISING ANY OF THE PURPOSES OF THIS RIGHT OF WAY AND EASEMENT GRANT. ALL SUBLOTS AND ALL LANDS SHALL BE RESTRICTED TO UNDERGROUND UTILITY SERVICE.

SAGAMORE LAND PROPERTIES LLC

BY: \_\_\_\_\_  
PAUL KARNOW, MEMBER

SPECTRUM CABLE \_\_\_\_\_ PRINT NAME \_\_\_\_\_ DATE \_\_\_\_\_

WINDSTREAM WESTERN RESERVE \_\_\_\_\_ PRINT NAME \_\_\_\_\_ DATE \_\_\_\_\_

DOMINION ENERGY \_\_\_\_\_ PRINT NAME \_\_\_\_\_ DATE \_\_\_\_\_

FIRST ENERGY \_\_\_\_\_ PRINT NAME \_\_\_\_\_ DATE \_\_\_\_\_

NORTH HILLS WATER DISTRICT \_\_\_\_\_ PRINT NAME \_\_\_\_\_ DATE \_\_\_\_\_

### DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS FOR HEARTRIDGE SUBDIVISION

"COMMON ELEMENTS", ALL REAL AND PERSONAL PROPERTY NOW OR HEREAFTER OWNED BY THE ASSOCIATION OR OTHERWISE HELD FOR THE COMMON USE AND ENJOYMENT OF THE OWNERS OR OCCUPANTS. COMMON ELEMENTS SHALL INCLUDE (A) THE LANDSCAPED ENTRYWAY TO THE PROPERTY OFF HAWTHORNE DRIVE, IF ANY, (B) ANY LANDSCAPED ISLANDS WITHIN EACH CUL-DE-SAC, AND (C) ANY OTHER AREAS OF LAND WITHIN THE PROPERTY INTENDED FOR THE COMMON USE, BENEFIT, AND ENJOYMENT OF ALL OCCUPANTS OF THE PROPERTY. COMMON ELEMENTS DOES NOT MEAN OR IMPLY THAT THE PUBLIC AT LARGE ACQUIRES ANY EASEMENT OF USE OR ENJOYMENT THEREIN.

ARTICLE VII. RESPONSIBILITIES OF THE ASSOCIATION 7.1 RESPONSIBILITIES OF THE ASSOCIATION. THE ASSOCIATION SHALL HAVE THE EXCLUSIVE DUTY TO PERFORM THE FOLLOWING FUNCTIONS: (A) MAINTENANCE. (I) THE ASSOCIATION SHALL MAINTAIN IN A CLEAN AND SAFE CONDITION AND IN GOOD ORDER AND REPAIR THE COMMON ELEMENTS AND EASEMENT AREAS, INCLUDING THE STORM WATER MANAGEMENT BASIN AND ANY OTHER FACILITIES USED FOR STORM WATER DRAINAGE, RETENTION OR DETENTION FOR HEARTRIDGE SUBDIVISION, INCLUDING, WITHOUT LIMITATION, THE DREDGING, CLEANING, SILTATION CONTROL, EROSION CONTROL AND CONTROL OF WEEDS AND OTHER UNDESIRABLE VEGETATION AND THE MAINTENANCE AND REPLACEMENT AS NECESSARY OF ANY TREES, SHRUBS AND OTHER PLANTINGS IN AND AROUND THE STORM WATER MANAGEMENT BASIN. NOTWITHSTANDING THE FOREGOING, THE OBLIGATION OF THE ASSOCIATION TO MAINTAIN THE EASEMENT AREAS (OR ANY PART THEREOF) SHALL TERMINATE IF (BUT ONLY IF) SUCH AREAS ARE OFFERED FOR DEDICATION TO THE TOWNSHIP OR COUNTY FOR PUBLIC USE AND THE TOWNSHIP OR COUNTY ACCEPTS SUCH DEDICATION, WHICH THE TOWNSHIP OR COUNTY SHALL BE UNDER NO OBLIGATION TO DO.

### DRAINAGE MAINTENANCE ASSESSMENT

ALL FEE HOLDERS AND ALL RECEIVING TITLE TO THE FEE THROUGH THEM ARE SUBJECT TO PAYMENT OF DRAINAGE MAINTENANCE FEES ASSESSED OR TO BE ASSESSED BY THE COUNTY OF SUMMIT PURSUANT TO O.R.C. CHAPTER 6137.

OWNER(S) OF RECORD WILL PROVIDE PURCHASER WITH OPTION TO HAVE SOIL TEST PERFORMED AT TIME OF PURCHASE.

### NOTE:

THE CONSTRUCTION OF ANY ACCESSORY BUILDINGS, LANDSCAPING MOUNDS OR OTHER LANDSCAPING FEATURES AND FENCES WITHIN A STORMWATER MANAGEMENT/DRAINAGE EASEMENT IS PROHIBITED.

HEARTRIDGE SUBDIVISION PHASE 2  
SITUATED IN THE TOWNSHIP OF SAGAMORE HILLS, COUNTY OF SUMMIT  
AND STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL  
NORTHFIELD TOWNSHIP LOT NOS. 71, 81 AND 82.

DEMPSEY / SURVEYING / COMPANY  
P 216/226-7130 12815 DETROIT AVENUE  
F 216/226-7131 CLEVELAND, OH 44107-2835



REVISIONS  
DATE \_\_\_\_\_  
HORZ. SCALE NONE  
VERT. SCALE NONE  
DRAWN BY MS  
CHECKED BY CJD  
DATE OF MAP Nov. 15, 2023  
DATE OF FIELD SURVEY AUG. 11, 2014  
JOB NO. 8505  
SHEET 1 4

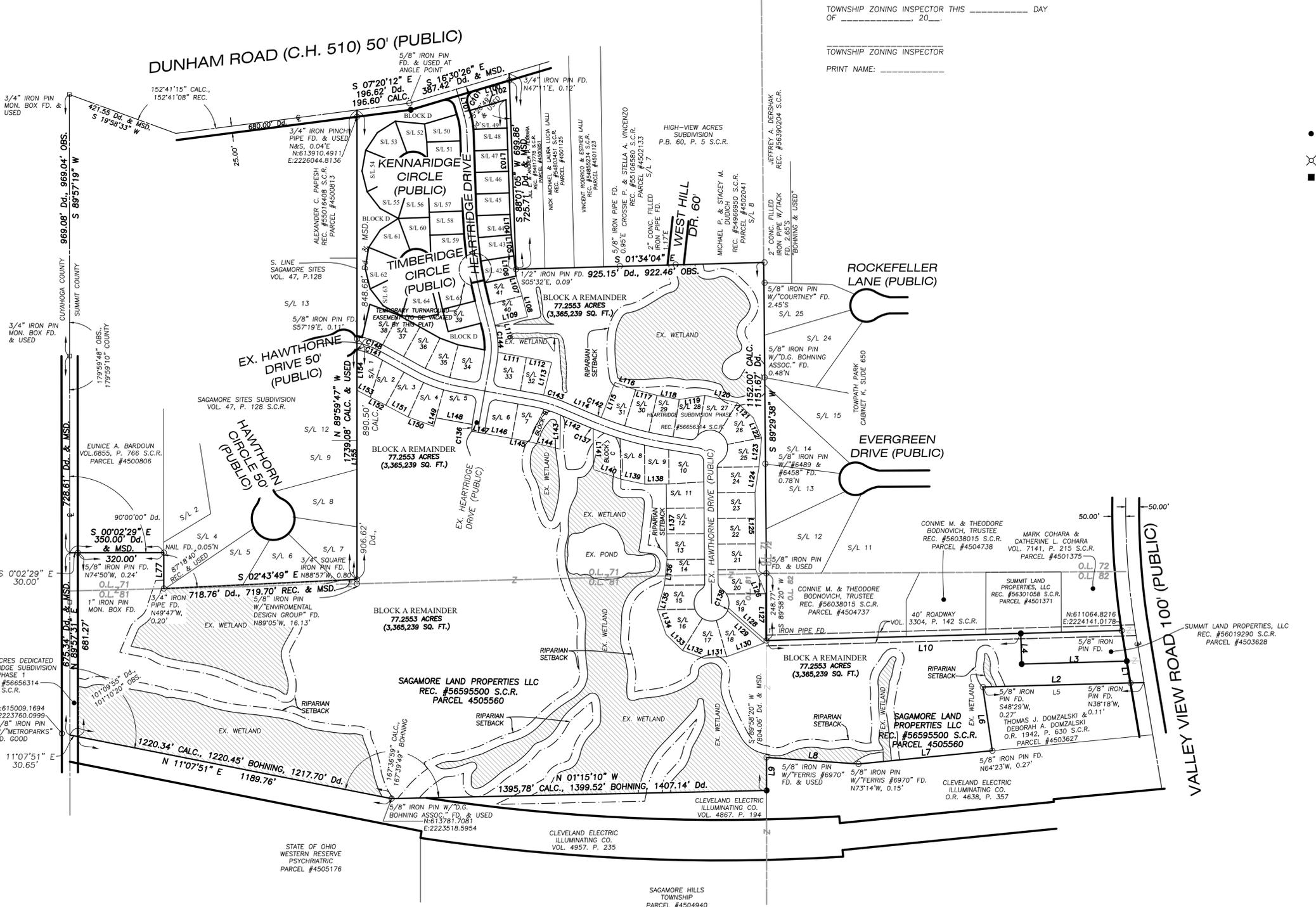
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C100	15.00	54.98	49.50	S 28°29'54" W	90°00'00"
C101	35.00	54.98	49.50	S 61°30'26" E	90°00'00"
C102	225.00	57.04	56.89	S 80°45'20" W	14°31'31"
C103	250.00	63.38	63.21	S 80°45'20" W	14°31'31"
C104	275.00	69.18	69.06	S 79°39'26" W	12°19'44"
C105	275.00	10.54	10.54	S 86°55'12" W	2°11'46"
C106	25.00	39.27	35.36	N 46°58'55" W	90°00'00"
C107	25.00	31.35	31.35	N 35°04'11" E	77°39'13"
C108	65.00	22.88	22.76	N 65°39'18" E	20°09'59"
C109	65.00	86.07	79.92	N 17°34'17" E	75°52'03"
C110	65.00	54.17	52.61	N 44°14'08" W	47°44'47"
C111	65.00	54.17	52.61	S 88°01'05" W	47°44'47"
C112	65.00	54.59	53.00	S 40°05'02" W	48°07'19"
C113	65.00	50.14	48.91	S 06°04'39" E	44°12'03"
C114	25.00	11.43	11.33	S 15°04'48" E	28°11'46"
C115	25.00	39.27	35.36	S 43°01'05" W	90°00'00"
C116	1425.00	59.66	59.66	S 86°49'07" W	2°23'56"
C117	1425.00	75.72	75.72	S 84°05'48" W	3°02'41"
C118	25.00	37.61	34.16	N 54°19'53" W	86°11'19"
C119	25.00	36.49	33.33	N 30°34'24" E	83°37'14"
C120	65.00	17.17	17.12	N 64°48'53" E	15°08'16"
C121	65.00	88.04	81.47	N 18°26'30" E	77°36'29"
C122	65.00	54.17	52.61	N 44°14'08" W	47°44'47"
C123	65.00	54.17	52.61	S 88°01'05" W	47°44'47"
C124	65.00	54.17	52.61	S 40°16'18" W	47°44'47"
C125	65.00	31.35	31.05	S 07°34'50" W	27°38'08"
C126	25.00	39.27	35.31	S 33°41'30" W	89°51'26"
C127	1375.00	75.30	75.29	S 86°26'57" W	3°08'16"
C128	1375.00	87.23	87.22	S 83°03'46" W	3°38'08"
C129	1375.00	72.91	72.20	S 79°44'29" W	3°00'32"
C130	1400.00	239.20	238.91	S 83°07'24" W	9°47'21"
C131	1425.00	9.91	9.91	S 78°25'15" W	0°23'55"
C132	1400.00	159.45	159.44	S 79°28'43" W	2°35'58"
C133	1400.00	179.75	179.63	S 84°20'23" W	7°51'23"
C134	65.00	299.07	96.90	S 59°25'56" E	26°37'15"
C135	65.00	322.02	80.17	S 66°15'12" E	28°50'59"
C136	275.00	31.35	25.07	N 85°33'03" W	51°32'71"
C137	1225.00	14.39	14.39	S 22°31'18" W	0°40'23"
C138	65.00	10.74	10.73	S 70°06'41" E	9°28'14"
C139	313.00	10.23	10.23	S 11°53'30" W	1°52'22"
C140	308.72	9.86	9.86	S 10°08'27" W	1°49'48"
C141	263.00	0.90	0.90	N 11°09'12" E	0°11'42"
C142	1175.00	25.48	25.48	N 22°14'13" E	1°14'33"
C143	525.00	82.27	82.19	N 18°22'08" E	8°58'43"
C144	325.00	96.93	96.58	N 84°18'28" E	17°05'20"
C145	275.00	75.57	75.33	N 83°38'09" E	15°44'41"
C146	1375.00	82.21	82.20	N 79°31'57" E	3°55'33"
C147	1425.00	61.14	61.13	S 76°58'33" W	2°27'30"
C148	258.72	0.12	0.12	N 11°02'32" E	0°01'39"

SAGAMORE ROAD (C.H. 1) 60' (PUBLIC)

DUNHAM ROAD (C.H. 510) 50' (PUBLIC)

HAWTHORNE DRIVE 50' (PUBLIC)

VALLEY VIEW ROAD 100' (PUBLIC)



LINE	BEARING	DISTANCE
L1	S 80°25'27" W	81.78
L2	N 01°35'28" W	549.51
L3	S 01°19'28" E	391.36
L4	S 88°24'32" W	113.61
L5	N 01°35'39" W	600.01
L6	S 81°58'36" W	238.51
L7	N 05°38'36" W	500.50
L8	N 04°04'20" E	343.08
L9	S 89°58'20" W	122.25
L10	N 01°35'28" E	346.86
L11	S 89°57'31" W	133.18
L12	N 16°30'26" W	138.57
L13	S 73°29'54" W	30.00
L14	N 05°38'36" E	141.23
L15	S 88°01'05" W	425.16
L16	S 86°35'16" W	75.07
L17	N 03°03'46" W	79.29
L18	S 83°40'35" W	75.08
L19	S 72°19'24" W	76.99
L20	S 75°45'48" W	80.00
L21	N 14°14'12" W	125.00
L22	S 75°45'48" W	4.91
L23	N 07°14'21" W	107.70
L24	S 11°01'27" W	95.72
L25	N 76°07'14" W	25.00
L26	S 22°51'29" W	122.37
L27	S 68°23'04" E	140.00
L28	S 19°21'12" W	81.71
L29	S 14°49'44" W	81.71
L30	S 10°29'30" W	84.30
L31	S 09°13'58" E	97.05
L32	N 12°00'56" W	123.90
L33	S 43°18'31" W	80.66
L34	S 67°10'55" W	80.66
L35	N 84°48'17" W	108.00
L36	S 89°29'38" W	285.00
L37	S 87°55'29" W	96.78
L38	S 89°56'04" W	143.75
L39	S 41°10'12" E	182.96
L40	S 41°10'12" W	181.77
L41	N 19°49'46" W	148.87
L42	N 03°52'42" E	84.80
L43	N 19°59'42" E	84.80
L44	S 43°52'05" E	84.80
L45	N 71°02'15" E	97.78
L46	S 74°05'02" E	93.83
L47	S 84°29'50" E	95.52
L48	N 89°29'38" E	280.00
L49	N 00°30'22" W	80.00
L50	N 11°48'15" E	92.12
L51	N 19°41'33" E	106.55
L52	N 89°29'38" E	150.00
L53	N 22°51'29" E	117.80
L54	N 89°22'25" W	125.97
L55	N 13°17'27" E	118.74
L56	N 10°32'52" E	65.14
L57	N 01°14'21" E	101.08
L58	N 01°19'34" E	50.73
L59	N 10°14'21" E	137.23
L60	N 74°26'35" W	32.28
L61	N 19°54'34" E	100.94
L62	N 27°38'56" E	93.84
L63	N 26°31'51" E	64.78
L64	N 27°47'14" E	54.53
L65	S 89°59'47" E	150.00
L66	S 89°59'47" W	850.18

APPROVALS  
THIS PLAN OF HEARTRIDGE SUBDIVISION, THE GRANTING OF EASEMENTS FOR PUBLIC FACILITIES AND APPURTENANCES, AND THE DEDICATION OF PUBLIC STREETS HAS BEEN APPROVED BY:

SUMMIT COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

CHAIRMAN  
PRINT NAME: \_\_\_\_\_

SECRETARY  
PRINT NAME: \_\_\_\_\_

TOWNSHIP ZONING INSPECTOR THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

TOWNSHIP ZONING INSPECTOR  
PRINT NAME: \_\_\_\_\_



SCALE: 1" = 200'



ABBREVIATIONS

- Dd. - DEED
- MSD. - MEASURED
- ACT. - ACTUAL
- CALC. - CALCULATED
- OBS. - OBSERVED
- TD. - TURNED
- FD. - FOUND
- ENCR. - ENCROACHES
- CLRS. - CLEARS
- ASPH. - ASPHALT
- CONC. - CONCRETE
- SUBI. - SUBJECT
- CONT. - CONTIGUOUS
- U.C. - UNDERGROUND
- O.H. - OVERHEAD

LEGEND

- DENOTES 5/8" IRON PIN SET WITH "DEMPSEY P.S. 6914" CAP (UNLESS OTHERWISE NOTED)
- ⊗ MAG NAIL SET
- MONUMENT BOX SET

HEARTRIDGE SUBDIVISION PHASE 2  
 SITUATED IN THE TOWNSHIP OF SAGAMORE HILLS, COUNTY OF SUMMIT  
 AND STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL  
 NORTHFIELD TOWNSHIP LOT NOS. 71, 81 AND 82.

REVISIONS	
DATE	
HORIZ. SCALE	1" = 200'
VERT. SCALE	NONE
DRAWN BY	MS
CHECKED BY	CJD
DATE OF MAP	Nov. 15, 2023
DATE OF FIELD SURVEY	AUG. 11, 2014
JOB NO.	8505



**APPROVALS**

THIS PLAT OF HEARTRIDGE SUBDIVISION, THE GRANTING OF EASEMENTS FOR PUBLIC FACILITIES AND APPURTENANCES, AND THE DEDICATION OF PUBLIC STREETS HAS BEEN APPROVED BY:

SUMMIT COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRMAN \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

SECRETARY \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

TOWNSHIP ZONING INSPECTOR THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

TOWNSHIP ZONING INSPECTOR \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

NICK MICHAEL & LAURA  
LUCIA LALLI  
REC. #54803451 S.C.R.  
PARCEL #4501125

VINCENT RODRICO & ESTHER LALLI  
REC. #54855234 S.C.R.  
PARCEL #4501123

CROSSIE P. & STELLA A. VINCENZO  
REC. #55106580 S.C.R.  
PARCEL #4502133  
S/L 7

SAGAMORE LAND PROPERTIES LLC  
REC. #56595500 S.C.R.  
PARCEL 4505560

**BLOCK D**  
1.8672 ACRES  
(81,336 SQ. FT.)

**BLOCK A  
REMAINDER**  
77.2553 ACRES  
(3,365,239 SQ. FT.)

SAGAMORE LAND PROPERTIES LLC  
REC. #56595500 S.C.R.  
PARCEL 4505560

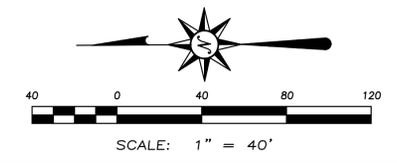
**BLOCK A REMAINDER**  
77.2553 ACRES  
(3,365,239 SQ. FT.)

**ABBREVIATIONS**

- Dd. - DEED
- MSD. - MEASURED
- ACT. - ACTUAL
- CALC. - CALCULATED
- OBS. - OBSERVED
- TD. - TURNED
- FD. - FOUND
- ENCR. - ENCROACHES
- CLRS. - CLEARANCES
- ASPH. - ASPHALT
- CONC. - CONCRETE
- SUBJ. - SUBJECT
- CONT. - CONTIGUOUS
- U.G. - UNDERGROUND
- O.H. - OVERHEAD

**LEGEND**

- DENOTES 5/8" IRON PIN SET WITH "DEMPSEY P.S. 6914" CAP (UNLESS OTHERWISE NOTED)
- ⊗ MAG NAIL SET
- MONUMENT BOX SET



**HEARTRIDGE SUBDIVISION PHASE 2**  
 SITUATED IN THE TOWNSHIP OF SAGAMORE HILLS, COUNTY OF SUMMIT  
 AND STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL  
 NORTHFIELD TOWNSHIP LOT NOS. 71, 81 AND 82.

REVISIONS	
DATE	DESCRIPTION

DRAWN BY: MS  
 CHECKED BY: CJD  
 DATE OF MAP: Nov. 15, 2023  
 DATE OF FIELD SURVEY: AUG. 11, 2014  
 JOB NO.: 8505  
 SHEET: 44

DEMPSEY SURVEYING / COMPANY  
 P. 216.228.1130 | 13815 DETROIT AVE. #100  
 F. 216.228.1131 | CLEVELAND, OH 44107-2835  
 www.dempseysurveying.com

Drawing File: K:\Dempsey Current Jobs\8505-8599\8505\8505 Plot Phase 2 and 3.dwg Nov. 15, 2023 - 4:46pm



Planning Commission  
Riparian Variance  
**4501 Kings Ridge Dr.**  
Richfield Township

### EXECUTIVE SUMMARY

The site is located in Richfield Township along Kings Ridge Rd, PN 4802421. The applicant is proposing to build a house which would encroach upon the riparian setback. Per the applicant: There is a stream with a 50 foot Riparian Setback that takes up 82% of the allowed buildable area.

Staff recommends **DISAPPROVAL**.

<b>Item No.:</b> 1	<b>Parcel No.:</b> 4802421
<b>Meeting:</b> February 22, 2024	<b>Area:</b> 2.3493 acres
<b>Owner:</b> Dan Delfino	<b>Council District:</b> District 1
	<b>Processor:</b> Stephen Knittel

**Proposal:** The applicant is proposing to build a house which would encroach upon the riparian setback. Per the applicant: There is a stream with a 50 foot Riparian Setback that takes up 82% of the allowed buildable area.

**Agency Comments:** *Italicized text* indicates quotations from submitted agency comments.

**SWCD:** Sasha Mikheidze, 1/5/2024: See attached letter.

*I conducted a review of the proposed impacts through the variance request for the above- mentioned property in relation to SCCO 937 and the purpose of the riparian setback. I have enclosed the "Variance Request: Riparian Function Evaluation" form that this office uses when reviewing a riparian setback variance and potential impacts or conflict with the purpose of the ordinance.*

*We have determined the following findings:*

- *With regards to the filtering of pollutants to the stream through surface runoff, this proposed variance will shorten the distance for vegetative filtration.*
- *By reducing the width of the riparian setback, there is a decrease in the buffer width allotted for stream meandering. This can lead to costly engineering solutions in the future to stabilize the channel since streams are dynamic systems.*
- *The potential to increase in erosion due to the decrease of the width of the setback, can constitute a potential compromise the health, safety, and welfare of*

*the residents of the house. The potential repairs/modifications required due to stream bank erosion can be very costly.*

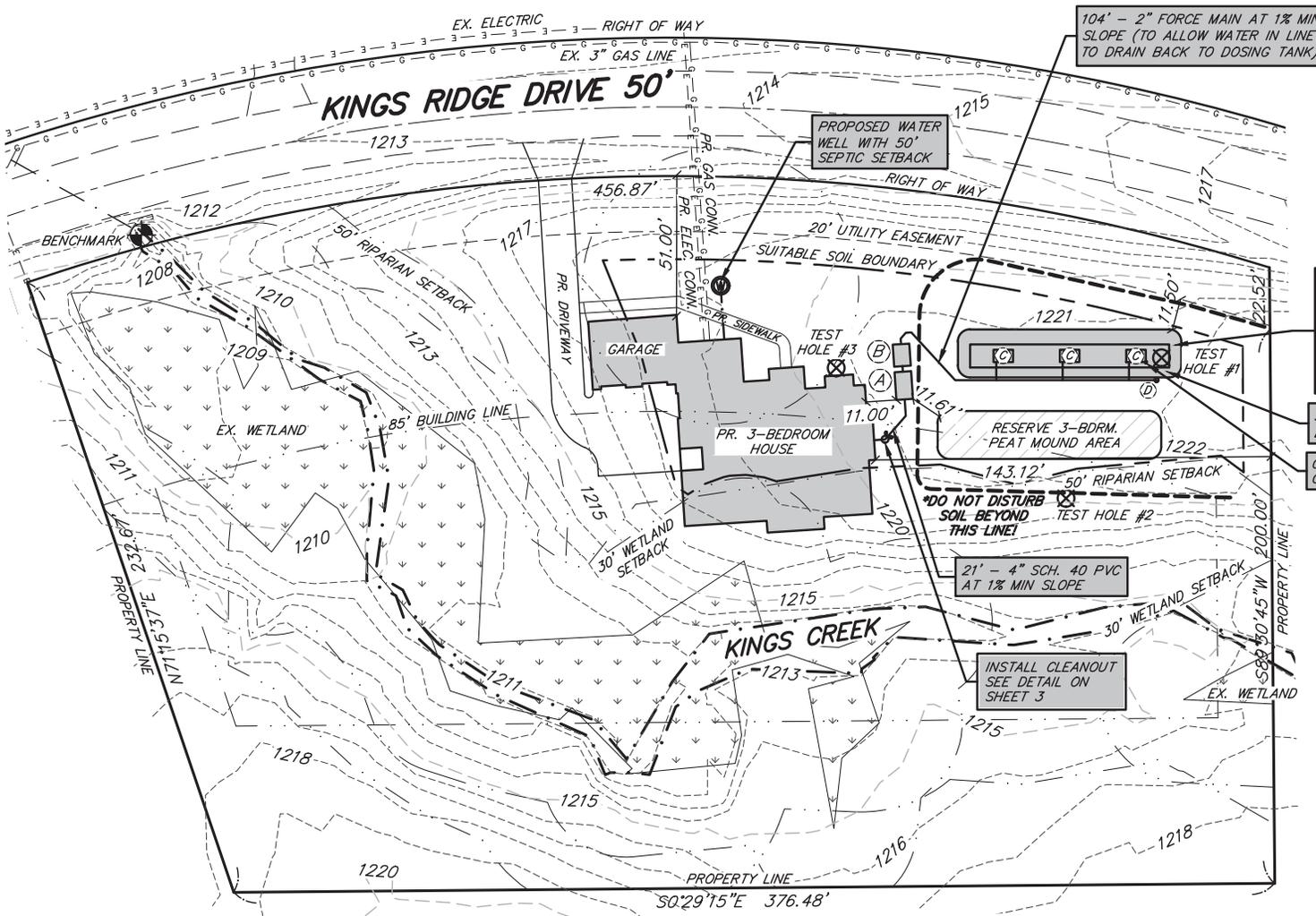
- *Should a variance be granted, I would like to bring the following to the attention of SCPC members: The predominant soil type within the proposed work location is WaB (Wadsworth silt loam). WaB has a seasonally high-water table, which is a major limitation for use. Erosion is a hazard if the surface is disturbed. Heavy use when wet will cause soil compaction and reduce growth. A thick plant cover will help control erosion. As a result, proper erosion and sediment controls need to be incorporated into the design of the site to ensure that the riparian setback is protected.*
- *In section 937.06(b)(1) it states “erosion control may be allowed if such practices are within permitted uses by the local, state, and federal government regulations and are ecologically compatible and emphasize the use of natural materials and native plant species where practical and available. erosion control practices shall only be undertaken upon approval of a Stormwater Pollution Prevention Plan (SWPPP or SW3P) by the Summit SWCD.” Since the use of such practices within the setback is practically assured, A SWPPP will need to be submitted to Summit SWCD for review prior to commencement of any construction activities.*
  - *The latest proposal for this project has seen the riparian/wetland setback impacts reduced from 0.23 ac to 0.051 ac. This decrease has been achieved by a proposed front yard setback variance from the township as well as a modification to the overall design.*

**SCPH:** See attached documents.

**Per the applicant:**

- There is a stream with a 50 foot Riparian Setback that takes up 82% of the allowed buildable area.
- When applying the front yard setback and riparian setback, less than 30' buildable depth remains to construct a house, which makes the lot unbuildable. Additionally, over 82% of the area within the building setbacks is taken up by the Riparian Setback area.
- Affect on stream and riparian area will be minimal. A small percentage of the total stream riparian area will be affected by new construction. Additional area east of the stream outside the riparian setback be undisturbed. Sediment controls will be used during construction.

**Recommendation:** SCPC Staff defers to Summit SWCD Staff's recommendation for this Variance.



104' - 2" FORCE MAIN AT 1% MIN. SLOPE (TO ALLOW WATER IN LINE TO DRAIN BACK TO DOSING TANK).

- SEPTIC SYSTEM LEGEND**  
SEE SHEET 1 FOR HOUSEHOLD SEWAGE TREATMENT SYSTEM SCHEDULE.
- (A) INSTALL 1,500 GALLON SEPTIC TANK "A" SEE SHEET 3 FOR DETAIL.
  - (B) INSTALL 1,000 GALLON DOSING TANK "B" SEE SHEET 3 FOR DETAIL.
  - (C) INSTALL 1 GREEN & 2 BLUE CODED MODULES "C" SEE SHEET 5 FOR DETAILS.
  - (D) INSTALL FLUSHING RISER "D" SEE SHEET 4 FOR DETAIL.

**BASAL AREA NOTE:**  
CONTRACTOR SHALL STAKE & TAPE OFF THE BASAL AREA OF THE PROPOSED MOUND PRIOR TO CONSTRUCTION. NO CONSTRUCTION EQUIPMENT OR TRAFFIC SHALL BE PERMITTED ON THE BASAL AREA. DO NOT COMPACT THE BASAL AREA IN ANY WAY. DO NOT STOCKPILE MATERIALS, TOPSOIL, OR FILL DIRT IN THIS AREA. SCARIFY THE BASAL AREA SOD OF THE PROPOSED MOUND WITH TEETH ON BACKHOE BUCKET.

SEE 'MOUNDED PAD DIAGRAM' ON SHEET 4.

GREEN CODED MODULE WITH SAMPLE CHAMBER. SEE DETAILS ON SHEET 5.

**SURVEY NOTE:**  
TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING IS FROM A SURVEY PERFORMED BY NEFF & ASSOCIATES DATED 8/28/2023.

**BASEMENT SERVICE NOTE:**  
A GRINDER PUMP WILL NEED TO BE INSTALLED IN THE BASEMENT TO PUMP ANY SANITARY SEWER FLOWS FROM THE BASEMENT.

 **BENCHMARK:**  
EX. 36" HDPE STORM SEWER  
36"FL.=1206.03'



**GRAPHIC SCALE**



( IN FEET )  
1 inch = 40 ft.

SUMMIT COUNTY PUBLIC HEALTH  
1867 W. Market Street Akron, OH 44313-6901  
DISAPPROVED

*T. J. C. G.*  
Inspector: \_\_\_\_\_ Date: Jan 12 2024

330-926-5643  
Phone Number: \_\_\_\_\_

SCALES: <b>HORIZONTAL 1"= 40'</b>	DATE: 12/13/2023
DRAWING FILE: 23-124.DWG	PROJECT NUMBER: 23-124
REVISION DATE:	SHEET NUMBER: 2 of 8



**SUMMIT  
SOIL & WATER  
CONSERVATION DISTRICT**

1180 South Main Street, Suite 230  
Akron, Ohio 44301  
(330) 929-2871

January 8th, 2024

Mr. Stephen Knittle  
Senior Administrator, District 8 Liaison  
Department of Community & Economic Development  
County of Summit, Ilene Shapiro, Executive  
175 S. Main St., Suite 103, Room 113  
Akron, OH 44308

Subject: Delfino - 4501 Kings Ridge Dr - Richfield Township

Dear Mr. Knittle:

I conducted a review of the proposed impacts through the variance request for the above-mentioned property in relation to SCCO 937 and the purpose of the riparian setback. I have enclosed the "*Variance Request: Riparian Function Evaluation*" form that this office uses when reviewing a riparian setback variance and potential impacts or conflict with the purpose of the ordinance.

We have determined the following findings:

- With regards to the filtering of pollutants to the stream through surface runoff, this proposed variance will shorten the distance for vegetative filtration.
- By reducing the width of the riparian setback, there is a decrease in the buffer width allotted for stream meandering. This can lead to costly engineering solutions in the future to stabilize the channel since streams are dynamic systems.
- The potential to increase in erosion due to the decrease of the width of the setback, can constitute a potential compromise the health, safety, and welfare of the residents of the house. The potential repairs/modifications required due to stream bank erosion can be very costly.
- Should a variance be granted, I would like to bring the following to the attention of SCPC members: The predominant soil type within the proposed work location is WaB (*Wadsworth silt loam*). WaB has a seasonally high-water table, which is a major limitation for use. Erosion is a hazard if the surface is disturbed. Heavy use when wet will cause soil compaction and reduce growth. A thick plant cover will help control erosion. As a result, proper erosion and sediment controls need to be incorporated into the design of the site to ensure that the riparian setback is protected.
- In section 937.06(b)(1) it states "*erosion control may be allowed if such practices are within permitted uses by the local, state, and federal government regulations and are ecologically compatible and emphasize the use of natural materials and native plant species where practical and available. erosion control practices shall only be undertaken upon approval of a Stormwater Pollution Prevention Plan*

*(SWPPP or SW3P) by the Summit SWCD.*" Since the use of such practices within the setback is practically assured, A SWPPP will need to be submitted to Summit SWCD for review prior to commencement of any construction activities.

The latest proposal for this project has seen the riparian/wetland setback impacts reduced from 0.23 ac to 0.051 ac. This decrease has been achieved by a proposed front yard setback variance from the township as well as a modification to the overall design.

For additional information or any questions regarding the comments listed above, contact the office at (330) 926-2443.

Sincerely,

*Sasha Mikheidze*  
Sasha Mikheidze  
Stormwater Specialist,  
Summit SWCD

cc: File  
Summit County Executive Office  
Summit County Engineer's Office  
Richfield Township

# Variance Request: Riparian Function Evaluation

The purpose of the Riparian Setback chapter is to protect and preserve the water quality within streams of the County of Summit and to protect residents of the County of Summit from property loss and damage because of flooding and other impacts of the stream. The method of implementing this chapter is by controlling uses and developments within a Riparian Setback that would impair the ability of the riparian area to perform its natural function. The following checklist should be used to help determine the extent to which the requested variance impairs the functions of the riparian area.

Site name: \_\_\_\_\_ Riparian Setback: \_\_\_\_\_  
Soil Type: \_\_\_\_\_ Proposed disturbance: \_\_\_\_\_

## Will the approval of the proposed variance request:

- Reduce the streams ability to absorb peak flows?
- Increase the velocity of floodwaters?
- Decrease stream bank stability and increase bank erosion and the downstream transport of sediment eroded from stream banks?
- Reduce filtering of pollutant load to the stream through surface runoff?
- Increase pollutant load in streams during periods of high flows by suspending and transforming pollutants already present in streams?
- Decrease the area for natural meandering and lateral movement of stream channels?
- Increase the presence of aquatic nuisance species?
- Decrease instream shade cover?
- Reduce food variety and stream habitat?
- Increase the need for costly engineering solutions to protect structures and properties?
- Compromise the health, safety, and welfare of Summit County residents?
- Could other zoning setbacks be adjusted in order to maintain the riparian setback area?

Comments: \_\_\_\_\_

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**Sewage Treatment System (STS) Design Plan and Field Verification Checklist:**Property Address: 4501 Kings Ridge Dr Parcel #: 48-02421

Note: The site plan shall be prepared by a qualified person who is capable of accurately, thoroughly, and legibly completing the following information.

**Design Plan Requirements**

- 1. Label plan with address, parcel ID, and North arrow
- 2. Draw plan to scale; a scale of 1" = 50' or less is required
- 3. Draw the shape of the lot and provide lot dimensions
- 4. Draw contour lines in two foot or appropriately identified increments using GIS or assigned during site evaluation
- 5. Show the house and all other permanent structures, (garages, pole barns, etc.)
- 6. Include the number of bedrooms and minimum daily design flow
- 7. Identify all existing and proposed wells, cisterns, and other drinking water sources
- 8. Identify required isolation distances within 50 feet of all STS components
- 9. Location of any buried utilities or easements within 50' are shown, if applicable
- 10. If applicable, show the location of all STS components to be abandoned
- 11. If applicable, show the location of existing drainage (tile, creek, road ditch, etc.) and the direction of flow
- 12. Show the location of all ponds, wetlands, and riparian zones
- 13. Show the location and dimensions (length, width, and height, if applicable) of the STS area
- 14. Identify all system devices and materials, including tanks, dosing tanks, distribution piping, diversion mechanisms, and distribution materials
- 15. Identify benchmark location and elevations of all pipe inverts and septic components
- 16. Show the approximate locations of test holes or soil borings (not required for NPDES)
- 17. Provide all applicable calculations used to determine STS size and type
- 18. If applicable, provide soil loading rates based on soil evaluation
- 19. If applicable, provide pump sizing and selection
- 20. If applicable, provide pressure distribution network calculations
- 21. If applicable, identify and label the discharge point on the plan (ex. discharge to covered road ditch)
- 22. If applicable, identify the approved system manufacturer and model to be used
- 23. If applicable, provide the construction and installation notes for the system installer including manufacturer installation instructions
- 24. Include a statement that the owner will be provided copies or electronic access to O&M requirements, manuals, and instructions for use by the service provider
- 25. Include a signature of the person preparing the plan and the date it was prepared



Sewage Treatment System (STS) Design Plan and Field Verification Checklist:

Property Address: 4501 Kings Ridge Dr Parcel #: 48-02421

Note: The site plan shall be prepared by a qualified person who is capable of accurately, thoroughly, and legibly completing the following information.

Field Verification Requirements [ ] N/A

- 1. The proposed location of all the soil absorption areas is marked on site
2. The proposed location of all soil absorption areas marked on site and noted on the design plan appear to match
3. The approved soil absorption area(s) appear(s) to be unaltered and/or undisturbed

SCPH Design Plan Review

Design Plan Requirements

[ ] Incomplete [X] Completed: 1/12/24

Field Verification Requirements

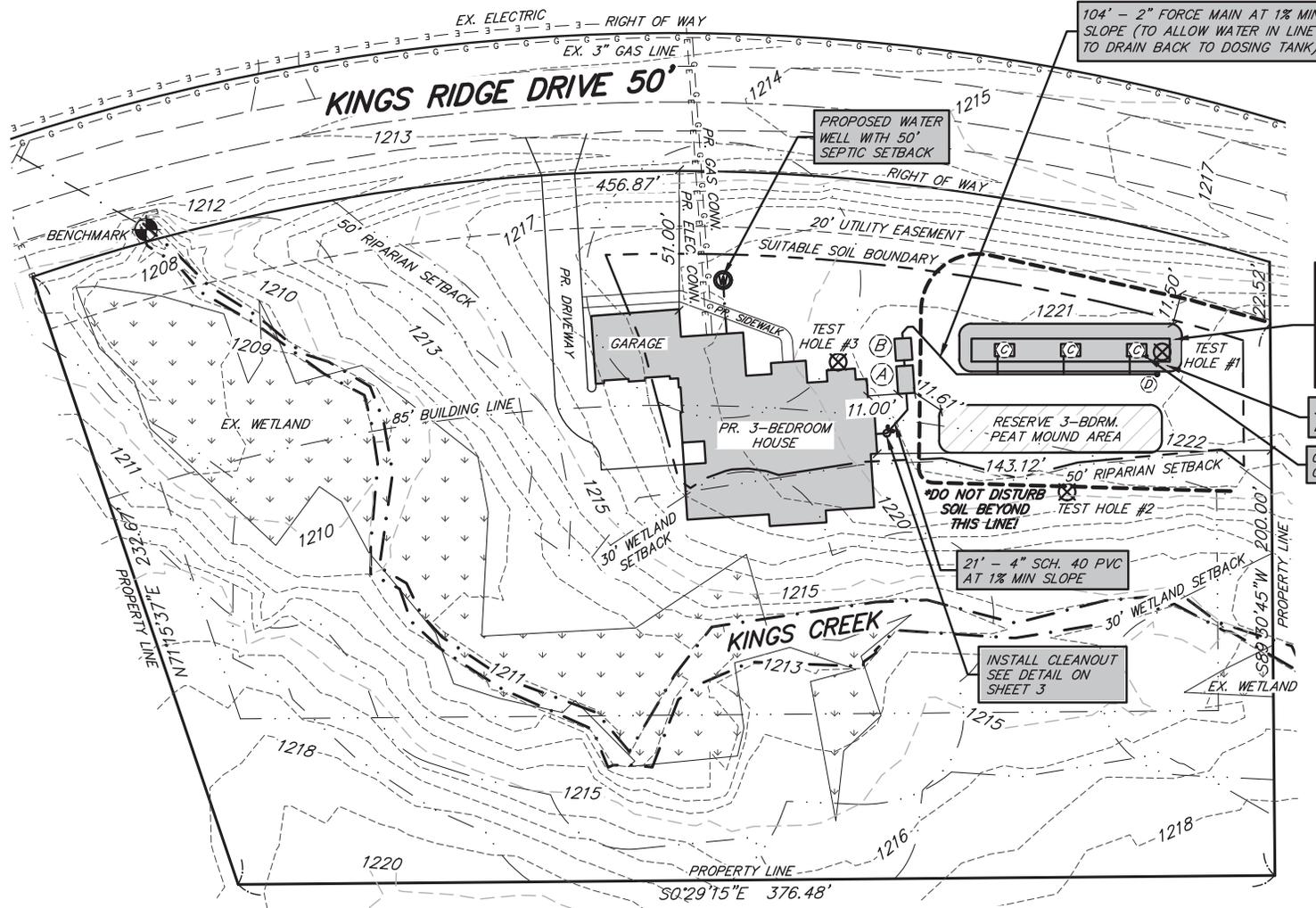
[X] Incomplete [ ] Completed: [ ] N/A

Comments:

-Peat mounds must be marked out on site prior to approval of design plan

\*\*\*Cannot approve septic design plan until an approvable topographic site improvement plan is received\*\*\*

Design Plan Reviewed by: Tony C. G... Date Reviewed: 1/12/24
[ ] Approved [X] Disapproved



104' - 2" FORCE MAIN AT 1% MIN. SLOPE (TO ALLOW WATER IN LINE TO DRAIN BACK TO DOSING TANK).

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 **BENCHMARK:**  
EX. 36" HDPE STORM SEWER 36"FL.=1206.03'



**GRAPHIC SCALE**



( IN FEET )  
1 inch = 40 ft.

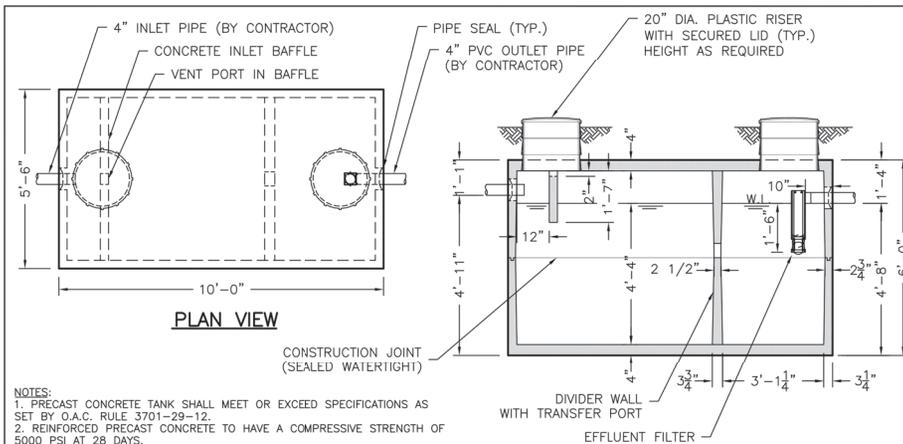
SUMMIT COUNTY PUBLIC HEALTH  
1867 W. Market Street Akron, OH 44313-6901  
DISAPPROVED

 Jan 12 2024  
Inspector: \_\_\_\_\_ Date: \_\_\_\_\_

330-926-5643  
Phone Number: \_\_\_\_\_

SCALES: <b>HORIZONTAL 1"= 40'</b>	DATE: 12/13/2023
DRAWING FILE: 23-124.DWG	PROJECT NUMBER: 23-124
REVISION DATE:	SHEET NUMBER: 2 of 8

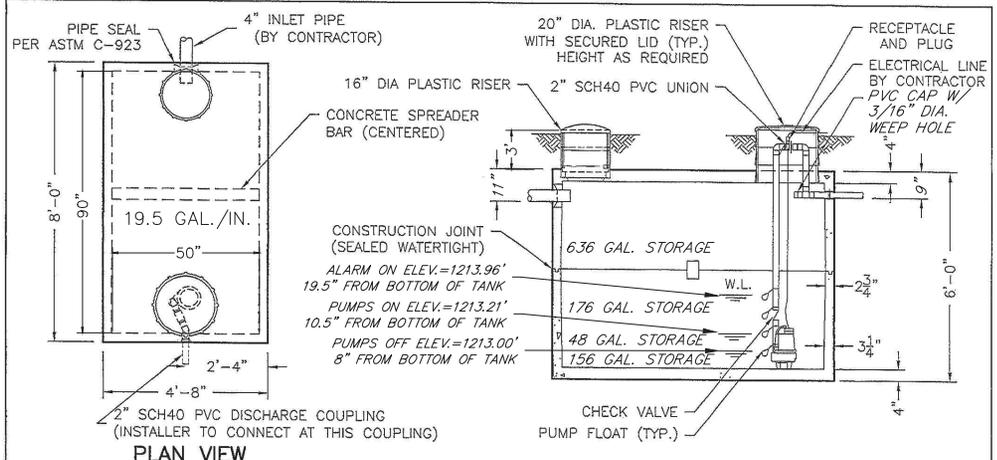




- NOTES:**
1. PRECAST CONCRETE TANK SHALL MEET OR EXCEED SPECIFICATIONS AS SET BY O.A.C. RULE 3701-29-12.
  2. REINFORCED PRECAST CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS.
  3. TANK REINFORCED PER ACI 318 STANDARDS USING 6"x6" W2.9/W2.9 GAUGE WELDED WIRE MESH BENT CONTINUOUSLY AROUND CORNERS.
  4. CONCRETE JOINT SEALANTS CONFORM TO ASTM C-990.
  5. PIPE SEALS CONFORM TO ASTM C-923.
  6. RISERS ARE GASKETED WATERTIGHT AND REMOVABLE COVERS ARE BOLTED TO PREVENT UNAUTHORIZED ACCESS.
  7. EFFLUENT FILTER RETAINS SOLIDS GREATER THAN 1/16" AND CONFORMS TO ANSI/NSF STANDARD 46.
  8. LABEL EITHER LONG WALL OF TOP SECTION AS FOLLOWS:  
MACK INDUSTRIES LOGO  
1500 GALLON CAPACITY  
DATE OF MANUFACTURE  
MAXIMUM BURIAL DEPTH OF 2'-0"

**SECTION VIEW**  
USE LABEL A-300 8"x18" EFFLUENT FILTER. SEE DETAIL ON SHEET 5.

1500 GALLON SEPTIC TANK		
DRAWN BY: DWH	SCALE: 3/8"=1'-0"	DRAWING NO.: 1500 DUAL COMPART. SEPTIC
DATE: 3-10-07	REV: 2/17/16 RMC	
<b>MACK INDUSTRIES, INC.</b> 201 COLUMBIA ROAD, VALLEY CITY, OHIO 44280 (216)483-3111		



- NOTES:**
1. REINFORCED PRECAST CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 5000 PSI @ 28 DAYS.
  2. PRECAST CONCRETE TANK SHALL MEET OR EXCEED SPECIFICATIONS AS SET BY O.A.C. RULE 3701-29-11.
  3. CONCRETE JOINT SEALANT CONFORMS TO ASTM C-990.
  4. INLET AND DISCHARGE PIPE SEALS CONFORM TO ASTM C-923.
  5. LABEL TOP OF TANK AS FOLLOWS:  
MACK INDUSTRIES LOGO  
DATE OF MANUFACTURE  
MAXIMUM BURIAL DEPTH OF 2'-0"

**SECTION VIEW**

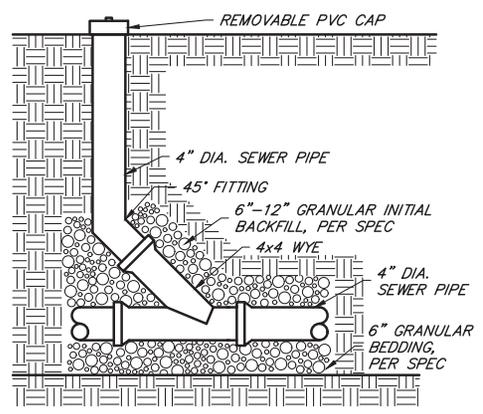
RESIDENTIAL DOSING TANK		
DRAWN BY: DWH	SCALE: 3/8"=1'-0"	DRAWING NO.: RESDOSING
DATE: 3-10-07	REV: 2) 6/26/07 CJ	
REV: 1.) O.D.H. 2007 COMPLIANCE, O.A.C. RULE 3701-29-11		
<b>MACK INDUSTRIES, INC.</b> 201 COLUMBIA ROAD, VALLEY CITY, OHIO 44280 (216)483-3111		

**1,500 GALLON SEPTIC TANK "A"**

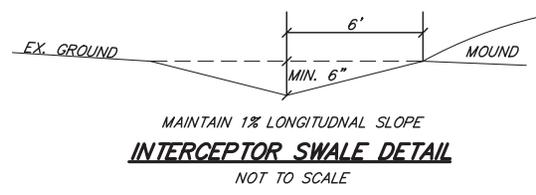
NOTE: EFFLUENT FILTER TO BE CLEANED OR REPLACED ONCE PER YEAR, AS NEEDED.

**1,000 GALLON DOSING TANK "B"**

NOTE: PUMPS TO BE SET FOR TIMED DOSING; 12 DOSES PER DAY (24 HOURS) WITH 48 GALLON MINIMUM PER DOSING (2.5" DEPTH IN CHAMBER)

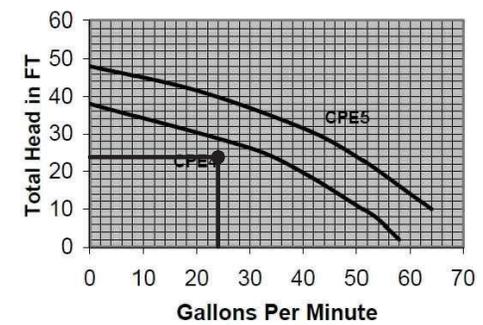


**CLEANOUT DETAIL**  
NOT TO SCALE



**INTERCEPTOR SWALE DETAIL**  
NOT TO SCALE

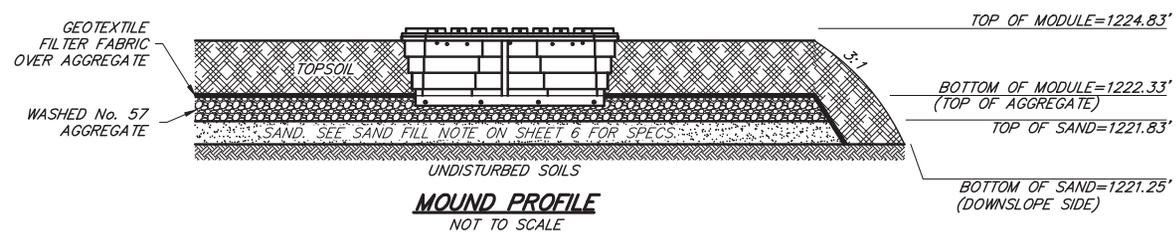
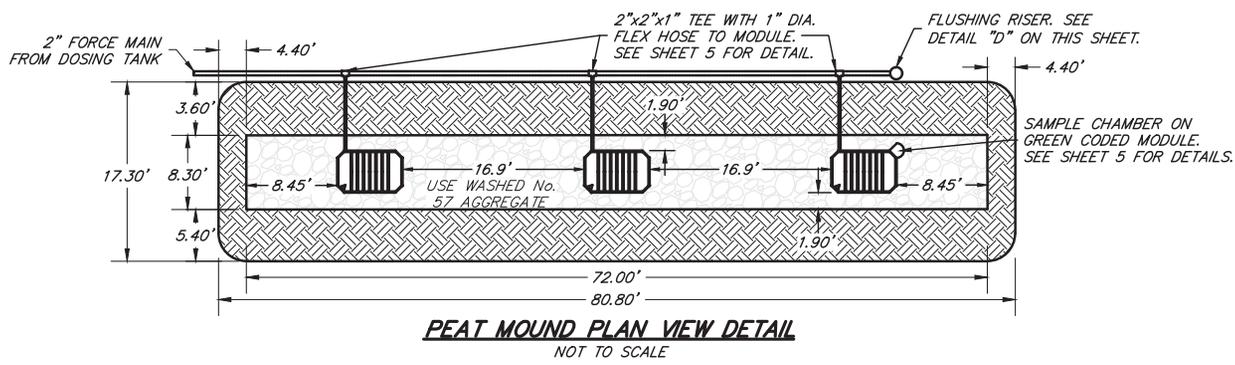
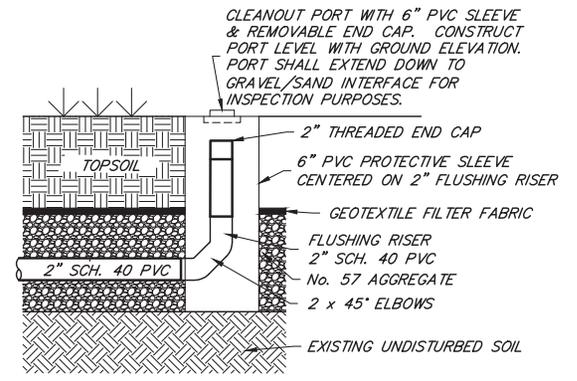
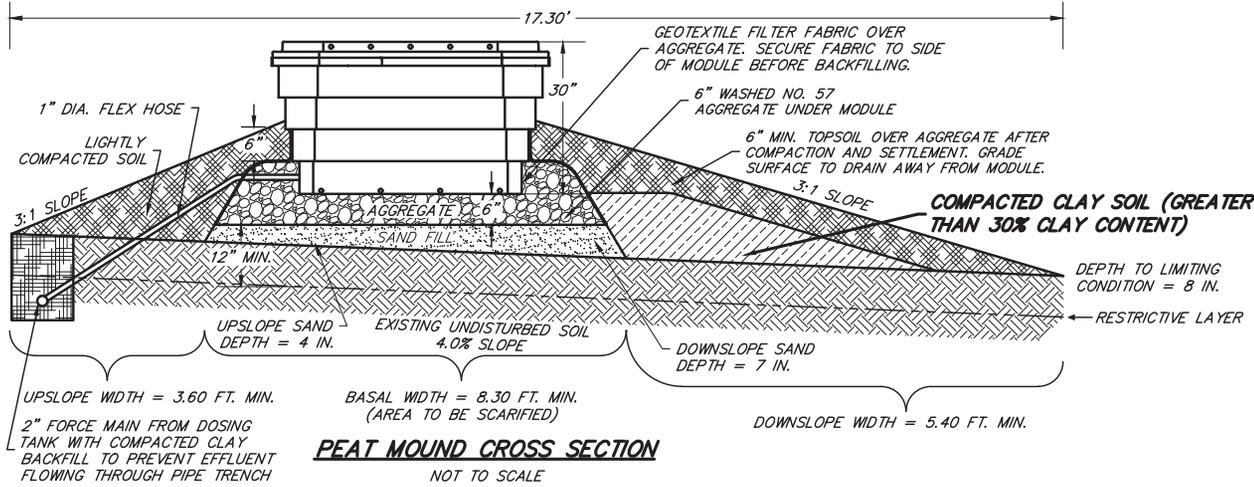
**CHAMPION PUMP PUMP PERFORMANCE CURVE**



**SYSTEM PUMP INFORMATION**

1. CONTRACTOR SHALL USE AN EFFLUENT PUMP CAPABLE OF PUMPING 24.00 GAL/MIN. AT 23.94' TOTAL DYNAMIC HEAD (TDH).
2. USE CHAMPION PUMP MODEL CPE4 4/10 HP FOR PUMP (OR EQUAL).
3. PUMP TO BE SET FOR AN "ON" CYCLE OF 2 MINUTES AND 00 SECONDS. "OFF" CYCLE TO BE 1 HOURS, 58 MINUTES, AND 00 SECONDS.

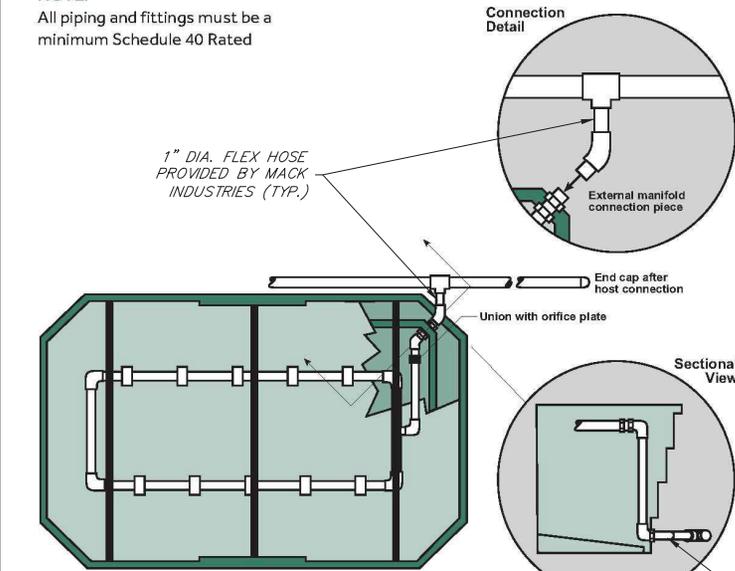
SCALES: <b>NOT TO SCALE</b>	DATE: 12/13/2023
DRAWING FILE: 23-124.DWG	PROJECT NUMBER: 23-124
REVISION DATE:	SHEET NUMBER: 3 of 8



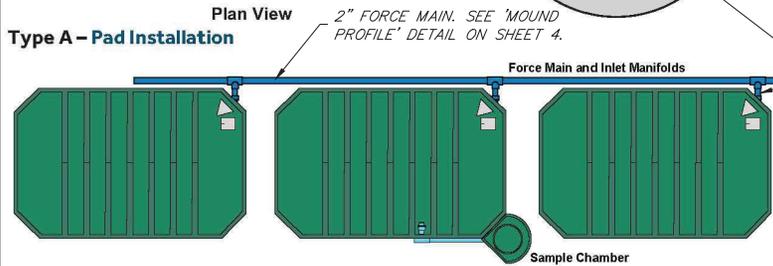
SCALES: <b>NOT TO SCALE</b>	DATE: 12/13/2023
DRAWING FILE: 23-124.DWG	PROJECT NUMBER: 23-124
REVISION DATE: 1/10/2024	SHEET NUMBER: 4 of 8

## Appendix 4 Module Grid Detail

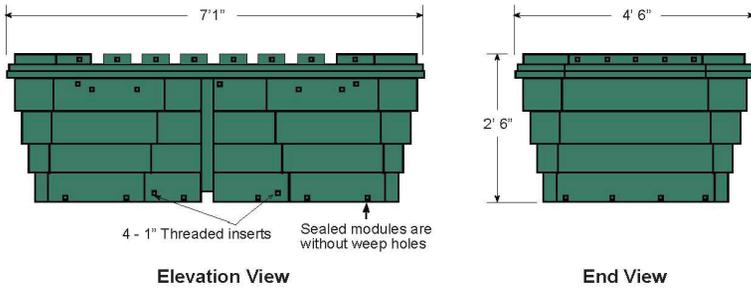
**NOTE:**  
All piping and fittings must be a minimum Schedule 40 Rated



### Type A - Pad Installation

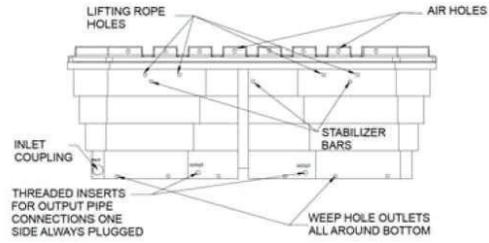


Blue coded modules with weep holes and one green coded module with sampling chamber, drain into a stone pad for final treated effluent disposal. Pad dimensions can be selected to match site conditions and modules can be installed side-by-side as well as end-to-end (as shown above)



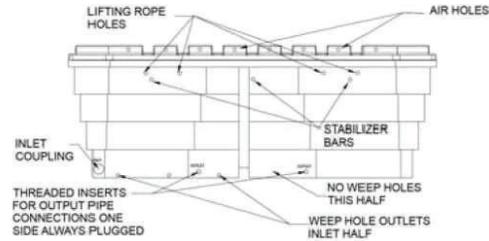
## Blue Coded Module

### Type A: Pad System

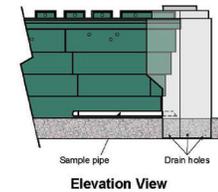
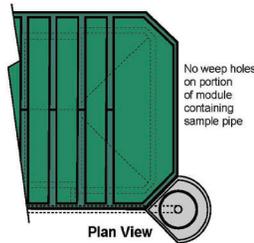


## Green Coded Module

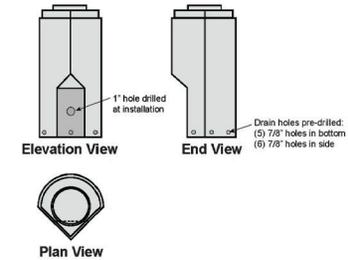
### Type A: Pad System (for Sample Chamber)



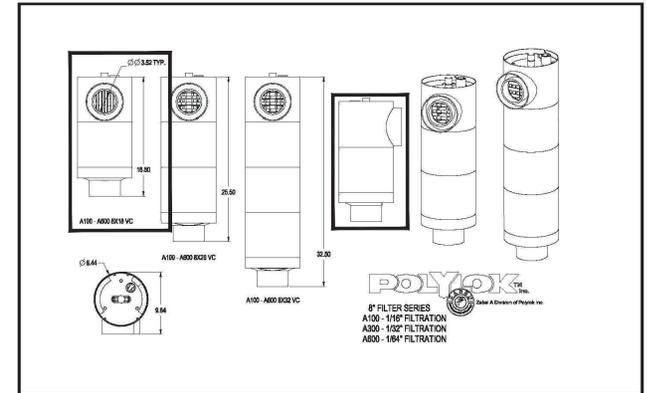
1" DIA. FLEX HOSE PROVIDED BY MACK INDUSTRIES (TYP.)



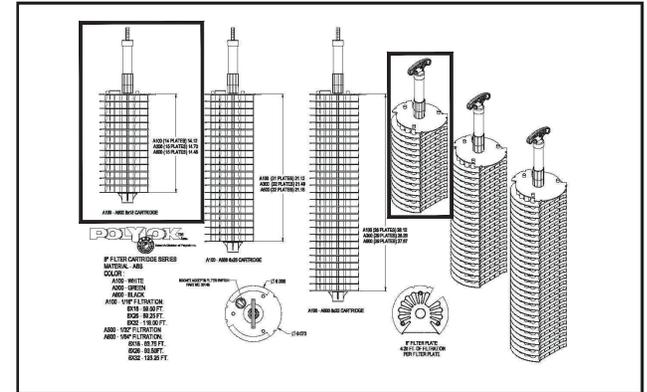
### Appendix 5 Sample Chamber Detail



## ZABEL 8" CASES



## ZABEL 8" FILTER SERIES



www.polylok.com

1-877-765-9565

**NOTE: USE ZABEL A-300 8"x18" EFFLUENT FILTER. IT IS TO BE CLEANED OR REPLACED ONCE PER YEAR, IF NEEDED.**

SCALES:	DATE:
<b>NOT TO SCALE</b>	12/13/2023
DRAWING FILE:	PROJECT NUMBER:
23-124.DWG	23-124
REVISION DATE:	SHEET NUMBER:
	5 of 8

**CONSTRUCTION NOTES:**

1. THE INSTALLER SHALL BE CERTIFIED TO INSTALL THIS TYPE OF SYSTEM BY THE MANUFACTURER AND SHALL HOLD A PRE-CONSTRUCTION MEETING WITH THE INDIVIDUALS RESPONSIBLE FOR SOIL EVALUATION, PERMITTING, & INSPECTIONS PRIOR TO SITE WORK BEGINNING TO ENSURE PROTECTION OF THE SITE CONDITIONS AND TO ENSURE THE SYSTEM IS INSTALLED ACCORDING TO THE DESIGN.
2. CONTRACTOR SHALL CHECK THE MOISTURE CONTENT OF THE SOIL AT 7-8 INCHES DEEP. IF IT IS TOO WET, SMEARING AND COMPACTION WILL RESULT, REDUCING THE INFILTRATION CAPACITY OF THE SOIL. SOIL MOISTURE CAN BE DETERMINED BY ROLLING A SOIL SAMPLE BETWEEN THE HANDS. IF IT ROLLS INTO A WIRE, THE SITE IS TOO WET TO PREPARE. IF IT CRUMBLES, SITE PREPARATION CAN PROCEED. IF THE SITE IS TOO WET TO PREPARE, DO NOT PROCEED UNTIL THE SOIL MOISTURE DECREASES.
3. CONTRACTOR SHALL NOT DEVIATE FROM THE APPROVED PLAN. ALL FIELD MODIFICATIONS SHALL BE APPROVED BY THE DESIGN ENGINEER.
4. PRIOR TO EXCAVATION, THE INSTALLER SHALL CHECK ALL ELEVATIONS RELATIVE TO THE BENCHMARK TO ENSURE PROPER FLOW THROUGH THE SYSTEM.
5. LAYOUT THE MOUND AREA AS LOCATED ON THE APPROVED PLAN & RUNNING PARALLEL TO THE EXISTING CONTOURS OF THE SITE TO ENSURE EVEN DISTRIBUTION OF THE EFFLUENT. USE A GRADE DIVERSION SWALE ALONG THE UPPER SIDE OF MOUND TO DIVERT SURFACE WATER AROUND THE MOUND AS NEEDED.
6. INSTALL SEPTIC TANK AND DOSING TANK AS INDICATED ON THE APPROVED PLAN.
7. INSTALL THE FORCE MAIN PIPE FROM THE DOSING CHAMBER TO THE MOUND. CUT AND CAP THE PIPE. LAY PIPE BELOW FROST LINE OR SLOPING UNIFORMLY BACK TO THE PUMP CHAMBER SO THAT IT DRAINS AFTER DOSING.
8. BACKFILL AND COMPACT THE SOIL AROUND THE PIPE TO PREVENT BACK SEEPAGE OF EFFLUENT ALONG PIPE. THIS STEP MUST BE DONE BEFORE FLOWING TO AVOID COMPACTION AND DISTURBANCE OF THE SURFACE.
9. HAND CLEARING OF TREES IS REQUIRED TO AVOID COMPACTION OF THE SOIL IN THE INFILTRATIVE AREA. TREE STUMPS TO BE CUT FLUSH WITH GROUND AND ROOTS TO REMAIN IN PLACE. REMOVE EXCESS VEGETATION BY MOWING. RAKE CUT VEGETATION IF IT IS, OR WILL BECOME, MATTED. DO NOT COMPACT THE INFILTRATIVE AREA.
10. KEEP THE WHEELS OF TRUCKS OFF THE FLOWED AREA. ONLY WORK FROM THE END AND UPSLOPE AREAS, WHICH WILL AVOID COMPACTION ON DOWNSLOPE AREAS TO AVOID SEEPAGE.
11. WITH THE BLADE OF THE TRACTOR FORM THE INFILTRATION BED. HAND LEVEL THE BOTTOM OF THE BED TO WITHIN 1/2 INCH OF PROPER ELEVATION.
12. PLACE THE NEEDED DEPTH OF SAND & GRAVEL IN THE BED TO PREVENT COMPACTION AND TO PROTECT THE UNDERLYING SOIL FROM RAIN. LEVEL THE AGGREGATE TO THE DESIGN DEPTH. ENSURE THE SIDE SEPARATION FROM BED TO SURFACE EXPOSURE WILL BE SHOWN. USE ONLY CLEAN, WASHED GRAVEL.
13. PLACE THE PEAT MODULES AS SHOWN ON THE PLAN ON THE AGGREGATE. CONNECT THE 1" FLEX HOSE MANIFOLD FROM THE FORCE MAIN TO THE PEAT MODULES. SLOPE THE FORCE MAIN TO BE ABLE TO DRAIN BACK TO THE DOSING TANK.
14. PRESSURE TEST THE DISTRIBUTION SYSTEM FOR UNIFORMITY OF FLOW. ALSO, AT THIS TIME MEASURE AND RECORD PUMP AVERAGE.
15. PLACE GEOTEXTILE FABRIC OVER THE AGGREGATE OF THE DISTRIBUTION AREA.
16. INSTALL TOPSOIL ON THE TOP OF THE BED. A MINIMUM DEPTH AFTER SETTLING OF 6" IS DESIRED. THIS CREATES A SLOPE THAT ASSISTS IN THE SURFACE RUN-OFF OF RAIN AND PROVIDES SOME FROST PROTECTION. DO NOT DRIVE OVER THE TOP OF THE BED.
17. SEED THE MOUND AREA WITH 60% BLUEGRASS, 30% RED FESCUE, & 10% ANNUAL RYEGRASS. IT IS RECOMMENDED TO ROLL OUT EROSION MATS TO PREVENT SOIL LOSS DUE TO EXCESSIVE SLOPE.
18. PROTECT THE RECEIVING AREA FOR A MINIMUM OF 30' AND PREFERABLY 50' DOWNSLOPE FROM THE TOE OF THE MOUND AGAINST DISTURBANCE AND COMPACTION. VEGETATE TO ENHANCE EVAPOTRANSPIRATION IN THE AREA.
19. THE OWNER WILL BE PROVIDED COPIES OR ELECTRONIC ACCESS TO THE OPERATIONS AND MAINTENANCE REQUIREMENTS, MANUALS, AND INSTRUCTIONS FOR SERVICE PROVIDERS FOR ALL OF THE COMPONENTS OF THE SEPTIC SYSTEM.

**SOIL EVALUATION NOTE:**

SOIL EVALUATION REPORT PREPARED BY TODD HOUSER  
 OF CONSERVATION SCIENCE, LLC  
 ON 2/6/2023  
 (PHONE #: 330-573-7811 )

**THE REPORT GAVE THE FOLLOWING INFORMATION:**

DEPTH TO LIMITING LAYER = 8 INCHES  
 SITE SLOPE = 4%  
 HYDRAULIC LINEAR LOADING RATE = 2.7 GAL/DAY/FT  
 INFILTRATION LOADING RATE = 0.6 GAL/DAY/FT<sup>2</sup>

**PIPE SPECIFICATIONS:**

1. ALL PIPING SHALL BE SCHEDULE 40 PVC AND MEET ASTM D-1784 STANDARDS.
2. ALL PIPE JOINTS SHALL BE SOLVENT WELDED TO MEET ASTM D-2466 STANDARDS.
3. IN THE DOSE TANK, A 1/4" HOLE AFTER THE UNION SHALL BE DRILLED INTO THE BOTTOM OF THE PIPE TO ALLOW THE FORCE MAIN TO DRAIN BACK INTO THE TANK.

**GENERAL NOTES:**

1. SEWAGE TREATMENT AREAS SHALL BE SECURED AT ALL TIMES TO KEEP ALL MATERIALS AND EQUIPMENT OFF THE AREAS.
2. ALL CUTTING OF PVC PIPE AND FLEXIBLE PVC SHALL BE ACCOMPLISHED WITH PIPE CUTTERS APPROVED BY THE MANUFACTURER. NO SAWING OF PVC OR FLEXIBLE PVC ALLOWED.
3. ALL PVC PIPE & FLEXIBLE PVC IN THE WORK AREA SHALL HAVE THE ENDS COVERED TO PREVENT CONSTRUCTION DEBRIS FROM ENTERING THE PIPE. PRIOR TO GLUING, ALL JOINTS SHALL BE INSPECTED FOR & CLEARED OF ANY CONSTRUCTION DEBRIS. DEBRIS CAN CAUSE THE SYSTEM PLUG UP AND NOT OPERATE AS INTENDED.
4. ALL VALVES AND INSPECTION PORTS SHALL BE ACCESSIBLE AT GRADE.
5. TAKING PICTURES OF SYSTEM COMPONENTS BEFORE BACKFILLING IS REQUIRED.
6. INSTALLER SHALL PROVIDE AN ACCURATE AS-BUILT RECORD.
7. NO TREES, WOODED VEGETATION, OR PLANTS WITH DEEP ROOT SYSTEMS SHALL BE PLANTED ON THE MOUND AREA. A BREATHABLE FABRIC MAY BE PLACED OVER THE PEAT MODULE LIDS AND COVERED WITH LIGHT LANDSCAPING MATERIAL, SO LONG AS THE FABRIC CAN BE LIFTED TO ACCESS THE LIDS IN THE FUTURE, & THE VENT HOLES ON THE TOP OF THE PEAT MODULE ARE NOT COVERED TO STOP AIRFLOW. VEGETATION WITH SHALLOW ROOT SYSTEMS MAY BE PLANTED AROUND THE MOUND, BUT NOT OVER THE PEAT MODULE LIDS.

**TIMED DOSING NOTES:**

1. NO ELECTRICAL CONNECTIONS INSIDE THE TANK, IF POSSIBLE.
2. THE ALARM SYSTEM IS TO BE MOUNTED IN SUCH A WAY THAT IF THE PUMP CIRCUIT FAILS, THE ALARM WILL STILL OPERATE. PROVIDE A MEANS TO TURN OFF THE ALARM WITHOUT LOSING POWER TO THE PUMP.
3. THE CABLES THAT CONNECT THE PUMP CONTROL SWITCH, ALARM SWITCH, AND PUMP ALL ORIGINATE FROM THE PUMP AND ALARM CONTROL CENTER. THE CENTER SHOULD BE IN A WEATHER-PROOF BOX ON A POST NEAR THE ENTRANCE OF THE DOSE TANK OR THE OUTSIDE OF A NEARBY BUILDING.
4. WHERE ANY CONDUIT ENTERS THE TANK THE PENETRATION MUST BE SEALED.
5. THE POWER CABLE OF THE PUMP MUST HAVE A GROUNDING CONDUCTOR.
6. POWER TO THE CONTROL CENTER SHOULD BE FROM A SINGLE INDIVIDUAL BRANCH CIRCUIT WITH NO OTHER LOADS. THE CIRCUIT BREAKER OR FUSE SUPPLYING THIS CIRCUIT SHOULD BE CLEARLY MARKED AT THE SERVICE ENTRANCE LOCATION.
7. SWITCHES, CONTROLS, ALARMS, AND ELECTRICAL COMPONENTS SHALL BE U.L. OR C.S.A. LISTED PRODUCTS, & SHALL BE INSTALLED IN A MANNER EASILY ACCESSIBLE FOR ROUTINE MONITORING AND MAINTENANCE.
8. AN ELAPSED TIME METER, COUNTER, AND A WAY TO METERING FLOW SHALL BE INCLUDED IN ANY S.T.S. HAVING A DOSING COMPONENT.
9. A TIME-DOSED S.T.S. SHALL INCLUDE A WAY TO METER FLOW, COUNTERS, AND CONTROL PANELS WITH PROGRAMMABLE TIMERS, MANUAL PUMP OPERATION, TEST FEATURES, AND AS APPLICABLE ADJUSTABLE OVERRIDE SETTINGS FOR HIGH WATER ALARM CONDITIONS.
10. CONTROLS SHALL HAVE BOTH AUDIBLE AND VISUAL ALARMS. ALARMS AND CONTROLS SHALL BE ON A SEPARATE FREQUENTLY USED CIRCUIT FROM DEDICATED CIRCUITS FOR EACH PUMP OR MOTOR.
11. CONTROL PANEL AND ALARM SHALL BE MOUNTED IN AN EASILY ACCESSIBLE EXTERIOR LOCATION SHALL BE FIELD-TESTED TO ASSURE COMPLIANCE WITH THE S.T.S. SPECIFICATIONS, AND SHALL INCLUDE WRITTEN INSTRUCTIONS RELATED TO STANDARD OPERATION AND ALARM EVENTS.
12. THE INSTALLER SHALL ASSURE THAT ALL ELECTRICAL WIRING MEETS THE NATIONAL ELECTRIC CODE.

**SAND FILL NOTE:**

THE MOUND SAND FILL SHALL BE A NATURAL CONCRETE SAND MEETING THE GRADUATION REQUIREMENTS OF ASTM C33 PROVIDED NOT MORE THAN 5% PASSES THE No. 200 (75 MICROMETER) SIEVE AS DETERMINED BY ASTM C117, "TEST METHOD FOR MATERIAL FINER THAN (75 MICROMETER) No. 200 SIEVE IN MINERAL AGGREGATES BY WASHING". IN ORDER TO ALLOW FOR GREATER VOID SPACE & WATER MOVEMENT, & TO HELP DETER PREMATURE CLOGGING, IT IS BEST TO ERR ON THE COARSE SIDE OF THE ASTM C33 STANDARD WITH A RECOMMENDED EFFECTIVE SIZE CLOSE TO 0.30 MM & A UNIFORMITY COEFFICIENT CLOSE TO 4.0.

SCALES:	DATE:
<b>NOT TO SCALE</b>	12/13/2023
DRAWING FILE:	PROJECT NUMBER:
23-124.DWG	23-124
REVISION DATE:	SHEET NUMBER:
1/10/2024	6 of 8

## Puraflo & Dispersal Field Design Guide

Design Parameters	Design flow	360 gpd
	Occupancy/Population Equivalent	4.0 people
	Soil application rate	0.60 gpd/ft <sup>2</sup>
	Slope %	4.0%
	Depth to limiting layer	8.0 in
	Req'd separation to limiting layer	12.0 in
	Hydraulic loading per linear foot	5.0 gpd/ft
Dispersal option, req'd	Mounded	

Septic Tank Sizing	Min (per NSF or 3rd party testing)	500 gal, nominal
	State or Other req'd min	1,000 gal, nominal
	Septic tank size, req'd	1,000 gal, nominal

Pump Tank Sizing	Min (per NSF or 3rd party testing)	500 gal, nominal
	State or Other req'd min	1,000 gal, nominal
	Pump tank size, req'd	1,000 gal, nominal

Puraflo Module Sizing	Influent BODs to module	Septic
	Module in polishing mode?	No
	Puraflo modules, req'd	3



DIRECTIONS: Fill-in cells highlighted GREEN, if applicable.

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v.030618

Mounded Pad Design	Slope ratio	3 :1
	Sand media loading rate	2.0 gpd/ft <sup>2</sup>
	Absorption area width, A	4.5 ft
	Absorption area length, B	72.0 ft
	Basal width, A+I or A+I+J	8.3 ft, min
	Mound fill depth, D	4 in
	Mound fill depth, E	7 in
	Mound depth, F	6 in
	Mound depth, G	6 in
	Mound depth, H	6 in
	Downslope width, I	5.4 ft, calculated
	Upslope width, J	3.6 ft, calculated
	Endslope length, K	4.4 ft
	Total width, W	13.5 ft
	Total length, L	80.8 ft
	Puraflo module spacing, M	16.9 ft, end-to-end
Total mounded pad area	1,088.1 ft <sup>2</sup>	

## TDH Calculations for Selecting System Pump

Assumes f = 0.022 for 2 inch pipe typical operating range  
Static Head in Feet = Measured/Estimated

Friction Head in Feet =  $(fL^3)/(2gD) = (2.1355 \times 10^{-5})LQ^2$  (Q in gpm, L in feet)  
Pressure Head in Feet =  $0.10524(Q/No. Mod.)^2$  (Q in gpm) from Orifice Equations

### BOX 1.

Q (gpm)	# Modules	L (feet)	$h_{total}$ (feet)	$h_f$ (feet)	$h_p$ (feet)	TDH
24.0	3	325.00	13.00	4.20	6.74	23.94

### BOX 3 - Programmable Timer Settings

Anticipated pump rate	24 gpm
Treatment design flow	360 gpd
Drainback volume per dose	18 gal.
Dosing Interval (pump rest time)	2.00 hrs.
Number of doses	12 d <sup>-1</sup>
Approx. volume per dose	48 gal.
Dose volume per module	10.00 gal.
Pump run time per dose	0:02:00 hr/min/sec
Pump off time	1:58:00 hr/min/sec
Tank volume (gal. per inch) ESTIMATE	19.5 gal. in. <sup>-1</sup>
Draw down per dose*	2.47 in.

From system versus pump curve for selected pump  
From design flow  
For cold weather climates, the transport line drains to protect from freezing  
Minimum 2 hours

Force Main Diameter 2 inches  
Force Main Velocity 2.29 ft/s  
1" flex hose Velocity 2.97 ft/s

From pump tank dimensions or manufacturer's data  
\*Prior to drainback

Loss through drainback hole while pump is active is assumed to be negligible

### BOX 2.

#### EQUIVALENT LENGTH ESTIMATE

Element	2" Ftg. Eq. Length	Number	Eq. Length
Length	104.00	1.00	104.00
Reg. 90 deg	9.00	8.00	72.00
Reg. 45 deg	4.00	8.00	32.00
T (Diversion)	11.00	4.00	44.00
Coupling (Disconnect)	2.00	1.00	2.00
Check Valve	17.00	1.00	17.00
Ball Valve (fully open)	54.00	1.00	54.00
<b>TOTAL EQ. LENGTH</b>			<b>325.00</b>

SCALES:	DATE:
<b>NOT TO SCALE</b>	12/13/2023
DRAWING FILE:	PROJECT NUMBER:
23-124.DWG	23-124
REVISION DATE:	SHEET NUMBER:
1/10/2024	7 of 8

**KAPLAN CALCULATION**

**ALLEN CALCULATION**

**POETER CALCULATION**

**Dispersal Field Water Mounding Calculation Sheet**

**Dispersal Field Water Mounding Calculation Sheet**

**Dispersal Field Water Mounding Calculation Sheet**

Directions: Fill-in applicable cells in GREEN. Answers appear in BLUE.

©2017 Anua Directions: Fill-in applicable cells in GREEN. Answers appear in BLUE.

©2017 Anua Directions: Fill-in applicable cells in GREEN. Answers appear in BLUE.

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Design Inputs		Project Info
# of bedrooms	3	
Flow per bedroom	120 gpd	
Puraflo effluent BODs loading	10 mg/l	
Pad, mounded pad or trench?	Mounded Pad	
Pad, mounded pad or trench height, H	6 in	
Pad, mounded pad or trench length, L	72.0 ft	
Pad gravel, mounded pad sand or soil Ksat, k	10.00 gpd/ft <sup>2</sup>	
Soil Ksat, k'	8.48 gpd/ft <sup>2</sup>	
Soil application rate (SAR)	0.60 gpd/ft <sup>2</sup>	
Minimum vertical separation (MVS) distance	12 in	
Soil horizon 1 depth	8 in	
Site slope %	4.0%	

Design Values		
Total flow	360 gpd, or	48.1 ft <sup>3</sup>
# of Puraflo modules req'd	3	
Flow per Puraflo module, Q	120 gpd, or	16.0 ft <sup>3</sup>
Soil Ksat, k'	1.14 ft/d	
Basal radius per Puraflo module, R	2.12 ft	
Water mounding height, H	0.3 ft, or	3.6 in
Total MVS req'd	1.3 ft	15.6 in
Combined module basal area, A <sub>b</sub>	42 ft <sup>2</sup>	
Pad, mounded pad or trench area per SAR	600 ft <sup>2</sup>	
Pad, mounded pad or trench area, req'd	600 ft <sup>2</sup>	
Pad, mounded pad or trench dimensions	8.3 ft W	72 ft L
Hydraulic loading per linear foot	5.0 gpd/ft	
Absorptive area w <sub>mat</sub> (gpa/r + gpa/r <sup>2</sup> )	8.3 r	
BODs dispersal field loading	0.00005 lbs/d/ft <sup>2</sup>	OK

Ksat Values	Rawls et al, 1998		VA AOSS Regulations, 2011	
	mm/h	gpd/ft <sup>2</sup>	cm/d	gpd/ft <sup>2</sup>
Sand	181.90	107.11		
Fine Sand	141.30	83.20	>17	>4.17
Loamy Sand	123.00	72.43		
Sandy Loam	55.80	32.86		
Loam	6.20	3.65	10 to 17	2.45 to 4.17
Silt Loam	14.40	8.48		
Sandy Clay Loam	7.70	4.53		
Clay Loam	4.20	2.47	4 to <10	0.98 to <2.45
Silty Clay Loam	4.90	2.89		
Sandy Clay	0.90	0.53		
Silty Clay	1.80	1.06	<4	<0.98
Clay	2.00	1.18		

Design Inputs		
Q	Hydraulic loading	360 gpd 48 ft <sup>3</sup> /d
I	Length	72.0 ft
W	Width	8.3 ft
K	Hydraulic conductivity	8.48 gpd/ft <sup>2</sup> 1.14 ft/d
SAR	Soil application rate	0.60 gpd/ft <sup>2</sup> 0.08 ft/d
D	Initial depth of saturation	0.7 ft

Design Values		
R	Radius of drainfield	13.8 ft
A	Drainfield area	598 ft <sup>2</sup>
S	Water mound height above saturation depth	0.0 ft
L	Distance to lateral control (absorptive width)	8.3 ft
HLLF	Hydraulic loading per linear foot	5.0 gpd/ft

Design Inputs		
Q	Volumetric (hydraulic) loading	360 gpd 1.36 m <sup>3</sup> /d
L	Overall drainfield length	72.0 ft 21.95 m
W	Overall drainfield width	8.3 ft 2.53 m
K <sub>1</sub>	Horizontal hydraulic conductivity, upper layer	8.48 gpd/ft <sup>2</sup> 0.35 m/d
K <sub>2</sub>	Vertical hydraulic conductivity, lower layer	8.48 gpd/ft <sup>2</sup> 0.35 m/d
q'	Infiltration rate (if q' > K <sub>1</sub> , of upper layer, surfacing will occur)	0.60 gpd/ft <sup>2</sup> 0.02 m/d

Design Values		
H <sub>max</sub>	Maximum water mound height	0.00 m 0.0 ft
L <sub>ext</sub>	Lateral extent of water mounding	0.09 m 0.3 ft
HLLF	Hydraulic loading per linear foot	0.06 m <sup>3</sup> /d/ft 5.00 gpd/ft

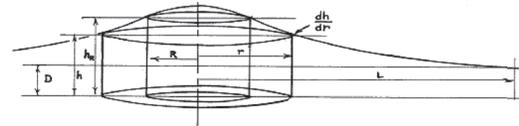
**Allen, 1980 Formulas**

$$H^2 = D^2 + \frac{Q}{\pi K} \left( 1n \frac{L}{R} + 1/2 \right)$$



Figure 1. Flow Near a Free Surface

Figure 2. Depth of Flow



Allen, D.H. (1980). Hydraulic Mounding of Groundwater Under Axisymmetric Recharge. Water Resource Research Center, University of New Hampshire. Durham, NH.

**Poeter, et al., 2005 Formulas**

(Equation 2)

$$H_{max} = w \left[ \frac{q'}{K_1} \left( \frac{q'}{K_2} - 1 \right) \right]^{1/2}$$

(Equation 3)

$$L = w \frac{q'}{K_2}$$

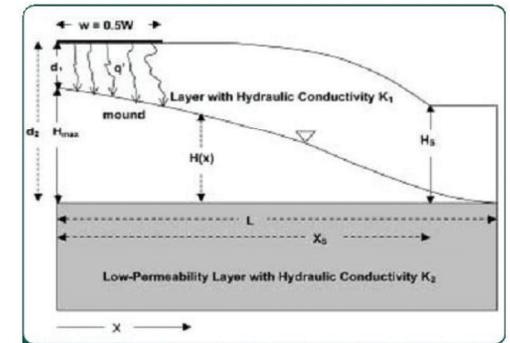


FIGURE 4 Conceptual Model for the Khan Analytical Solution. (Khan et al., 1976)

Poeter, E., McCray, J., Thyne, G., and Siegrist, R. (2005). Designing Cluster and High-Density Wastewater Soil Absorption Systems to Control Groundwater Mounding. *Small Flows Quarterly*, Winter 2005, Vol. 6, No. 1, pp 36-48. Morgantown, WV.

SCALES:	DATE:
<b>NOT TO SCALE</b>	12/13/2023
DRAWING FILE:	PROJECT NUMBER:
23-124.DWG	23-124
REVISION DATE:	SHEET NUMBER:
1/10/2024	8 of 8



Planning Commission  
 Final Plat  
**Sunset Drive**  
 Copley Township

## EXECUTIVE SUMMARY

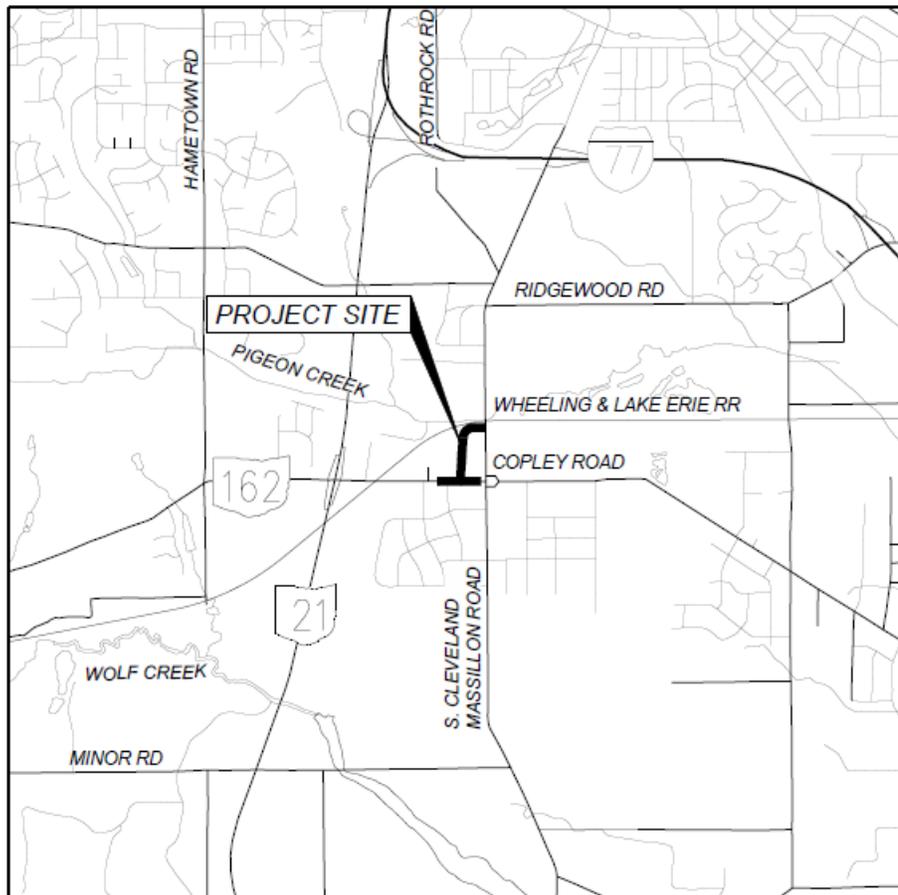
The site is located in Copley Township, off of Copley Rd. west of Copley Circle. The applicant is proposing an extension to Sunset Drive to have the roadway continue North and then turn East to access S. Cleveland Massillon Rd.

Staff recommends **APPROVAL**.

<b>Meeting:</b>	<b>February 22, 2024</b>	<b>Parcels:</b>	1502420 & 1502473
<b>Item No.:</b>	2	<b>Council Dist.:</b>	5
<b>Engineer:</b>	CESO	<b>Processor:</b>	Stephen Knittel
<b>Zoning:</b>	I - Industrial		

**Location:** The site is located in Copley Township, off of Copley Rd. West of Copley Circle.

**Proposal:** The applicant is proposing an extension to Sunset Drive to have the roadway continue North and then turn East to access S. Cleveland Massillon Rd.



**Agency Comments** *Italicized text* indicates quotations from submitted agency comments.

**Summit County Engineers Office:** Andy Dunchuck, 02/15/2024:

*Our office has reviewed the above referenced and attached Final Plat that is scheduled for the February 22, 2024 SCPC meeting and the Plat is acceptable as submitted.*

**Recommendation:** Staff recommends **APPROVAL** of the Sunset Dr. Final Plat.

# SUNSET DRIVE EXTENSION

PART OF ORIGINAL LOT 23, COPLEY TOWNSHIP 2 NORTH, RANGE 12 WEST  
COUNTY OF SUMMIT, STATE OF OHIO



3601 Rigby Rd., Suite 300  
Miami, OH 45342  
Phone: 937.435.8584 Fax: 888.208.4826

### ACCEPTANCE AND DEDICATION:

I (WE) THE UNDERSIGNED OWNER(S) OF THE LANDS EMBRACED WITHIN THIS SUBDIVISION HEREBY ACKNOWLEDGE THIS PLAT AND SUBDIVISION TO BY MY (OUR) FREE ACT AND DEED AND DO HEREBY DEDICATE TO PUBLIC USE FOREVER THE STREETS AND EASEMENTS SHOWN HEREON. I (WE) CERTIFY THAT THERE ARE NO DELINQUENT TAXES OR ASSESSMENTS AGAINST THE LANDS EMBRACED WITHIN THIS SUBDIVISION.

RESOLUTION NO. \_\_\_\_\_ THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

\_\_\_\_\_  
COPLEY TOWNSHIP WITNESS

PRINT NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGE BEFORE ME THIS \_\_\_\_ DAY OF

\_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

### DRAINAGE MAINTENANCE ASSESSMENT:

ALL FEE HOLDERS AND ALL RECEIVING TITLE TO THE FEE THROUGH THEM ARE SUBJECT TO PAYMENT OF DRAINAGE MAINTENANCE FEES ASSESSED OR TO BE ASSESSED BY THE COUNTY OF SUMMIT PURSUANT TO CHAPTER 6137 OF THE OHIO REVISED CODE AND THE FOLLOWING.

### STORMWATER MANAGEMENT NOTE:

THE CONSTRUCTION OF ANY ACCESSORY BUILDING, LANDSCAPING MOUNDS OR OTHER LANDSCAPING FEATURES WITHIN A STORMWATER MANAGEMENT/DRAINAGE EASEMENT IS PROHIBITED.

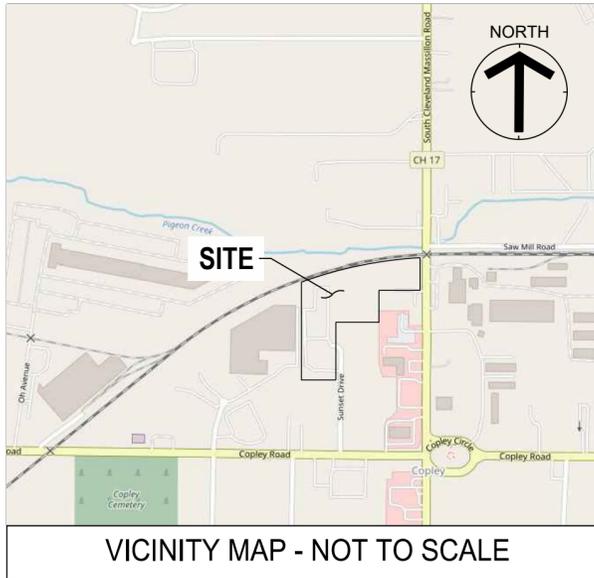
### NOTE:

DESIGN OF THE NW STORMWATER MANAGEMENT BASIN IS BASED ON 6.86 ACRES OF IMPERVIOUS ACRE BEING ROUTED TO THE BASIN. SHOULD THE IMPERVIOUS AREA BE EXCEEDED DURING FUTURE DEVELOPMENT, MODIFICATION TO THE STORMWATER MANAGEMENT BASIN WILL BE REQUIRED TO ENSURE COMPLIANCE WITH THE LATEST EDITION OF THE SCE STORMWATER DRAINAGE MANUAL.

### Surveyor's Certification

I hereby certify that this plat was prepared from actual field measurements in accordance with Chapter 4733-37 of the Ohio Administrative Code, and all monuments were either found or set as shown hereon.

\_\_\_\_\_  
Steven W. Clutter, PS-7655 Date



### AREA SUMMARY:

NEW LOT 1:	4.3738 ACRES
NEW LOT 2:	0.7747 ACRES
NEW LOT 3:	0.7161 ACRES
DEDICATED RIGHT-OF-WAY:	0.9909 ACRES
<b>TOTAL</b>	<b>6.8555 ACRES</b>

### APPROVALS:

THE DEDICATION UPON THE LANDS SHOWN HEREON IS HEREBY APPROVED AND ACCEPTED BY RESOLUTION NO. \_\_\_\_\_ OF THE COUNCIL OF SUMMIT COUNTY THE \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

\_\_\_\_\_  
PRESIDENT

\_\_\_\_\_  
CLERK

APPROVED BY THE EXECUTIVE OF THE COUNTY OF SUMMIT THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

\_\_\_\_\_  
EXECUTIVE

APPROVED BY THE SUMMIT COUNTY ENGINEER THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

\_\_\_\_\_  
ALAN BRUBAKER, P.E., P.S

APPROVED BY THE SUMMIT COUNTY PLANNING THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

\_\_\_\_\_  
MEMBER

APPROVED BY COPLEY TOWNSHIP ZONING THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

\_\_\_\_\_  
MEMBER

### COPLEY TOWNSHIP BOARD OF TRUSTEES:

\_\_\_\_\_  
BRUCE KOELLNER, PRESIDENT DATE

\_\_\_\_\_  
SCOTT DRESSLER, VICE PRESIDENT DATE

\_\_\_\_\_  
JAMES SCHULTE, TRUSTEE DATE

### REFERENCES

- Summit County Engineer's Records
- County Tax Map
  - R/W Plans
    - SUM-162-2.21
    - SUM-162D-0.00
    - SUM-CR17-13.61
  - Summit County Surveys

- Summit County Recorder's Records
- Deeds as referenced on survey
  - Document Numbers
    - 54012560, 56548425, 54349090, 54957612, 55614766, Plat Cabinet K Slide 657-659

COPLEY TOWNSHIP

Part of Original Lot 23, Copley Township (2 North, Range 12 West)  
Summit County, State of Ohio

#### Revisions / Submissions

ID	Description	Date

© 2023 CESO, INC.

Project Number: 759149

Scale: N/A

Drawn By: ATW

Checked By: SWC

Date: January 30, 2024

Issue:

Drawing Title:

Curve table					
Curve	Radius	Arc Length	Chord	Delta Angle	Tangent
C1	25.00'	39.27'	S44° 30' 49"W, 35.36'	90°00'00"	25.00'
C2	275.00'	330.71'	S55° 03' 43"W, 311.14'	68°54'12"	188.66'
C3	225.00'	312.25'	S45° 58' 36"W, 287.79'	79°30'45"	187.17'
C4	225.00'	14.85'	S87° 37' 24"W, 14.84'	3°46'50"	7.43'
C5	25.00'	39.27'	N45° 29' 11"W, 35.36'	90°00'00"	25.00'
C6	250.00'	392.74'	N44° 30' 34"E, 353.58'	90°00'30"	250.04'
C7	25.00'	34.83'	S39° 25' 23"W, 32.08'	79°50'09"	20.92'

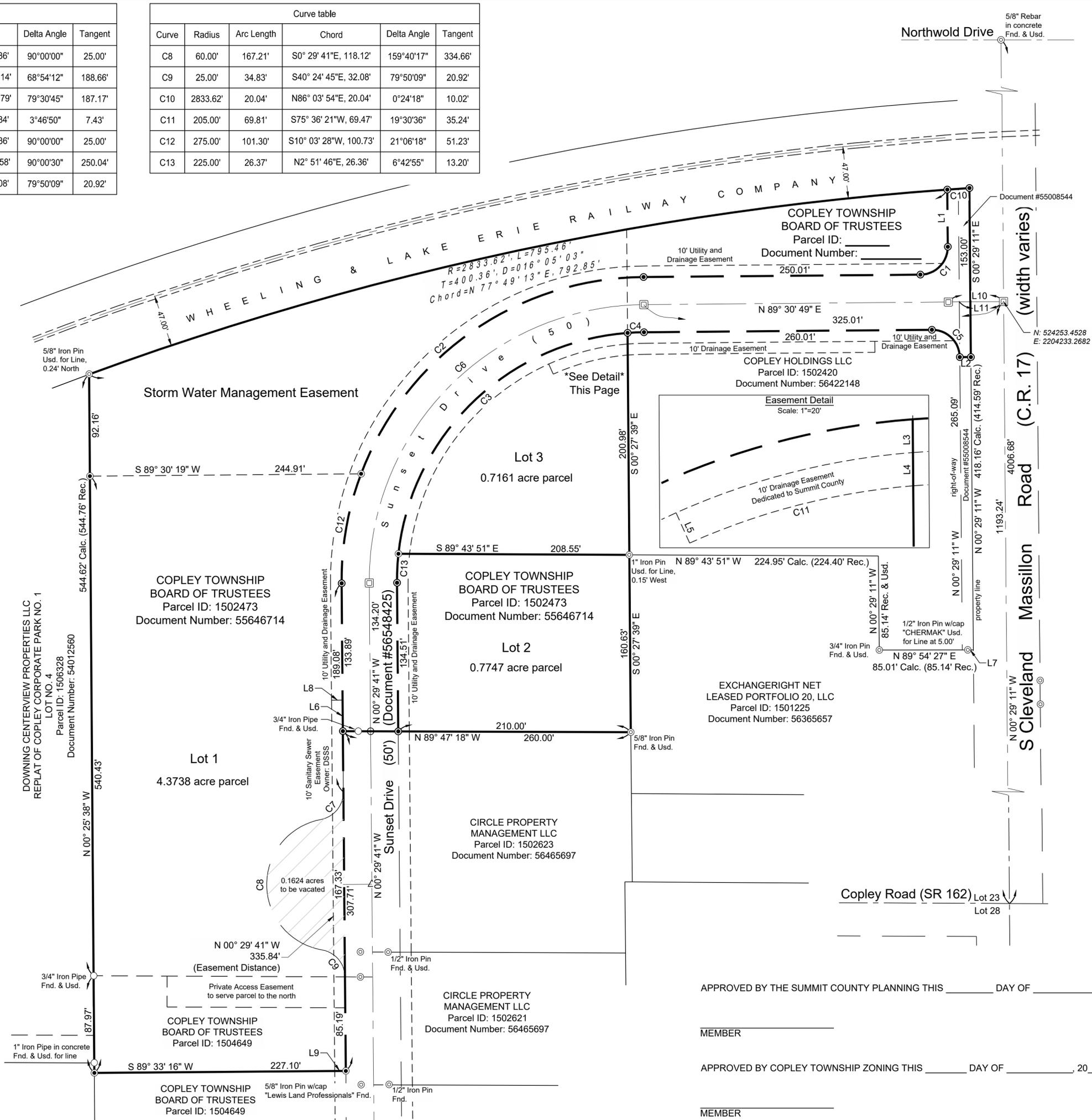
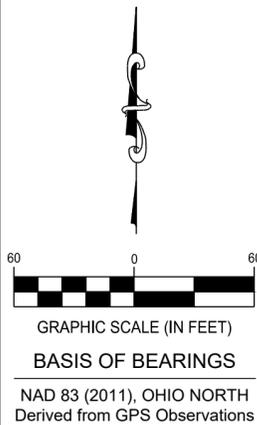
Curve table					
Curve	Radius	Arc Length	Chord	Delta Angle	Tangent
C8	60.00'	167.21'	S0° 29' 41"E, 118.12'	159°40'17"	334.66'
C9	25.00'	34.83'	S40° 24' 45"E, 32.08'	79°50'09"	20.92'
C10	2833.62'	20.04'	N86° 03' 54"E, 20.04'	0°24'18"	10.02'
C11	205.00'	69.81'	S75° 36' 21"W, 69.47'	19°30'36"	35.24'
C12	275.00'	101.30'	S10° 03' 28"W, 100.73'	21°06'18"	51.23'
C13	225.00'	26.37'	N2° 51' 46"E, 26.36'	6°42'55"	13.20'

Line Table		
Line #	Direction	Length
L1	S00° 29' 11"E	51.79
L2	S89° 30' 49"W	10.00
L3	S00° 27' 39"E	10.02
L4	S00° 27' 39"E	10.03
L5	N24° 08' 57"W	10.00
L6	N00° 29' 44"W	28.14
L7	S89° 54' 27"W	10.00
L8	N89° 30' 19"E	10.00
L9	S89° 33' 16"W	10.00
L10	N89° 30' 49"E	50.00
L11	S89° 30' 49"W	40.00

W:\PROJECTS\COPLEY TOWNSHIP\759149\_Sunset Drive Extension\04-SURVEY\DWG\759149\_Sunset Drive Extension.dwg - 1/30/2024 - Aubrey Wagner

### SURVEY LEGEND

- - 5/8" Iron Pin Set w/cap CESO, Inc
- - Iron Pin Found as Described
- - Iron Pipe Found as Described
- - PK Nail/Mag Nail Set
- - Monument Box Set
- Fnd. (F) - Found
- Usd. (U) - Used
- Rec. (R) - Deed
- Calc. (C) - Calculated



**COPLEY TOWNSHIP**

Part of Original Lot 23, Copley Township (2 North, Range 12 West) Summit County, State of Ohio

Revisions / Submissions		
ID	Description	Date

© 2023 CESO, INC.

Project Number: 759149

Scale: 1"=60'

Drawn By: ATW

Checked By: SWC

Date: January 30, 2024

Issue:

Drawing Title:

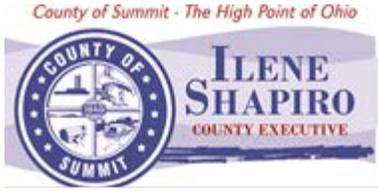
APPROVED BY THE SUMMIT COUNTY PLANNING THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

MEMBER \_\_\_\_\_

APPROVED BY COPLEY TOWNSHIP ZONING THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

MEMBER \_\_\_\_\_

# 2 of 2



Planning Commission  
**Zoning Map Amendment**  
 2400 South Main St.  
 Coventry Township

**EXECUTIVE SUMMARY**

Proposal: Located along at the intersection of S Main St. N Turkeyfoot Rd. Applicant is requesting to rezone parcel # 1907200 (1.337 acres) currently zoned B-2 Limited/Local Business to C-I Commercial Industrial.

Staff recommends APPROVAL

<b>Meeting:</b>	February 22, 2024	<b>Proposed Zoning:</b>	C-I
<b>Item No.:</b>	4	<b>Council Dist.:</b>	District 8
<b>Current Zoning:</b>	B-2	<b>Processor:</b>	Stephen Knittel

**Parcel Number:** 1907200

**Location:** Located along at the intersection of S Main St. N Turkeyfoot Rd.

**Proposal:** Applicant is requesting to rezone parcel # 1907200 (1.337 acres) currently zoned B-2 Limited/Local Business to C-I Commercial Industrial.

**Zoning:**

*See attachments for zoning maps.*

Direction	Zoning	Land Use	Jurisdiction
North	B-3	Business	Coventry Township
East	R-3	County Owned & Church	Coventry Township
South	B-2	Business	Coventry Township
West	C-I	Commercial	Coventry Township

**Current Zoning:** From Coventry Township’s Zoning Resolution, provided on Coventry Township’s website: <https://coventrytownship.com/>

**B-2 Limited Local Business District**

SECTION 11.01

This district is established to provide for single or planned and integrated groupings of stores which will retail convenience goods and provide personal and professional service for a neighborhood area. No buildings, structures, lots, or parcels of land shall be used except for the following purposes:

A. PERMITTED USES

1. All uses permitted and conditionally permitted in "B-1" Office Business District.

- 
2. Limited retail businesses which supply merchandise on the premises to include drugs, dry goods, clothing, notions, gifts, hardware, baked goods, florists, athletic goods.
  3. Personal services including dry cleaning and laundry shops, barber shops and beauty shops, shoe repair, tailor and dressmaker, repair shops for watches, radios, and televisions, photo studios, photostatic and blueprinting.
  4. Limited food sales of convenience store variety and or local grocery store, bakeries, delicatessen, and meat market, drive thru beverage stores.
  5. Residential occupancy in conjunction with a limited business, where business occupies less than fifty (50) percent of structure.
  6. Boat sales, minor service of boat and marine engines, and rentals.
- B. **CONDITIONAL USES**
1. Restaurants catering to all age groups conditions.
    - a. The use must comply with Article 3.06.
    - b. No music or public address system shall be amplified to be heard on surrounding property.\*\*
    - c. Parking must comply with Article 18.00.
    - d. Outside dining must comply with Section 23.20.\*\*
    - e. Security and supervision shall be provided as required by the Board of Zoning Appeals.
- C. All existing business uses and lands zoned for business use under the Coventry Zoning Resolution prior to August 23, 1970 are classified in this district.

#### SECTION 11.02 HEIGHT REGULATIONS

No building or structure shall exceed three (3) stories, or forty (40) feet in height, except with the approval of the Township Board of Zoning Appeals.

#### SECTION 11.03 AREA REGULATIONS

##### A. FRONT YARD

There shall be a front yard having a minimum depth of fifty (50) feet if on a County or State maintained roadway and a minimum depth of forty (40) feet for any other roads, from the street right-of-way line.

No part of a building, including awning, canopy, or sign shall extend or be placed between the building line and the street right-of-way line unless authorized by the Township Board of Zoning Appeals.

##### B. SIDE YARDS

There shall be provided a side yard having a minimum width of ten (10) feet, or twenty (20) feet if adjacent to residentially zoned property. On the side of corner lots or lands nearest the street, there shall be provided a side yard having the same width as the required front yard depth on such street.

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C. REAR YARD

There shall be provided a rear yard having a minimum depth of twenty (20) feet.

D. MINIMUM AREA OF LOT OR PARCEL OF LAND

The minimum square footage of each lot or parcel of land shall be no less than one half acre (21,780 square feet) provided centralized sanitary sewer is available and one acre (43,560 square feet) if centralized sewer is not available.\*

SECTION 11.04 PARKING FACILITIES

See Article 18.00.

**Proposed Zoning:**

**ARTICLE 14.00**

**"C" COMMERCIAL - INDUSTRIAL DISTRICT REGULATIONS**

**SECTION 14.01**

In a Commercial-Industrial District, no building, structure, lot, or land shall be used except to provide for certain commercial and industrial uses engaged in the storage, distribution and handling of large quantities of goods and materials, and the fabrication, manufacture and repair of goods of such nature that no objectionable by-products such as odors, smoke, dust, refuse, electromagnetic interferences, noise, etc. are noticeable, and when all work activities and storage are conducted indoors. (No outdoor manufacturing, assembly or storage is permitted.)

A. RESTRICTIONS AND REQUIREMENTS: General Requirements: 1. Central sewer and water.

2. All utilities including telephone, electric, cable television, etc. are required to be underground.

3. All streets shall conform to the width restrictions of Summit County, and shall be of asphalt or concrete surface. Curbing and street lighting along all streets are required. All streets, driveways and parking areas shall consist of concrete or asphalt paving. All street lighting shall be attractive as well as useful.\*(deleted sidewalk requirement 6/9/02)

4. At least thirty percent (30%) of all land must be used for open or Agreen@ space. All open space must be landscaped and well-maintained, and may be used for parks and recreational uses such as pools, tennis courts, and athletic fields. Roadways and parking areas may not be used in calculating the amount of land dedicated to open space. The percentage of required open space may be reduced by developing and dedicating some of the land for use by the general public on a one-to-one basis, but the area required to be dedicated to open space may not be less than twenty percent (20%).

Example #1:	Land To Be DevelopedB	100 acres
	Required Open SpaceB	30 acres
Example #2:	Land To Be DevelopedB	100 acres
Land dedicated for community use (Youth athletic fields, developed walking trails, tennis courts, etc.B)	5 acres*	

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## 5. LOT SIZE

Land may be subdivided into parcels of no less than one and one-half acres, and expanded in one-half acre increments.

## 6. STRUCTURES

No more than forty-five percent (45%) of the area of each building site may be covered with buildings or other structures.

## 7. SITE COVERAGE

No more than seventy percent (70%) of the area of each building site may be covered with buildings, structures, street right-of-way paved areas, off street loading area, driveways, walkways parking areas and other paved areas, and the remaining area shall be devoted to open space, except as otherwise permitted under General Requirements.

## 8. HEIGHT OF BUILDINGS

No building shall exceed forty-five (45) feet in height.

a. SETBACKS 1. Front: Sixty (60) feet (as measured from the street right-of-way)

2. Rear: Twenty-five (25) feet (as measured from the rear property line)

3. Sides: Twenty-five (25) feet

### b. PARKING AREAS

All designated parking areas or driveways must be separated from property lines or street right of way line by a minimum 20 foot landscaped buffer strip.\*

### B. CONDITIONALLY PERMITTED USES 1. Well drilling.

2. Excavation, extraction, removal or stripping of topsoil, subsoil, gravel, sand, etc., from lands (see Article 22.00).

3. Sexually oriented businesses. a. A sexually oriented business may be located and shall be permitted only in accordance with the following restrictions: 1. No such business shall be located on any parcel within five hundred (500) feet of any residential dwelling or any residentially zoned district within Coventry Township or any neighboring political subdivision.

2. No such business shall be located on any parcel within one thousand (1,000) feet of any public library, private or public elementary or secondary school, day care center, preschool, public park, recreation area or church.

3. No such business shall be located on any parcel within one thousand (1,000) feet of another sexually oriented business.

4. Such businesses shall only be located in a Commercial-Industrial zoned district within Coventry Township.

5. Must comply with all conditions of Article 3.06 General Conditions of Conditional Zoning.

6. That the proposed use shall not enlarge or encourage the development of a blighting influence.

7. That the establishment of an additional regulated use in the area shall not be contrary to any program of neighborhood conservation or rehabilitation.

8. Any display, device or sign that depicts or describes specified sexual activities or specified anatomical areas shall be out of view of the public way and surrounding property;

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9. No adult cabaret or theater shall be established in the same building with another adult cabaret or adult bookstore or adult motion-picture theater.

10. Adult cabarets, adult bookstores, and adult motion-picture theaters shall only operate during hours reasonably designated by the Commission.

11. Businesses authorized under this section shall have entrances to the establishment shielded in such a way that individuals outside the business building will not be able to see the entertainment area inside the building. Additionally, said shielding shall not consist of curtain alone shall not obstruct any exit sign or panic hardware for any exit, nor shall the shielding be constructed in such a way as to block any exit. All shielding shall be approved by the Coventry Fire Department.

12. All entertainment shall be conducted on a stage, or upon an open floor in an area such as a dance floor. While entertainment is being conducted, the entertainment area shall be separated from the areas occupied by customers or patrons.

b. For the purposes of subdivision (A), measurement shall be made in a straight line, without regard to intervening structures or objects, from the nearest portion of the building or structure used as a part of the premises where a sexually oriented business is conducted, to the nearest property line of the premises of a church or public or private elementary or secondary school, or to the nearest boundary of an affected public park, residential district, or residential lot.

c. For the purposes of subdivision (A), the distance between any two sexually oriented businesses shall be measured in a straight line, without regard to intervening structures or objects from the closest exterior wall of the structure in which each business is located.

d. No person shall establish, operate or cause the establishment or operation of any sexually oriented business in violation of the provisions of this section. Nothing in this section shall be construed to prohibit or limit the display, sale or rental of descriptive, printed, film or video material or any live performance which, taken as a whole, contains serious literary, artistic, political, medical, educational or scientific value.

4. All permitted and conditionally permitted uses set forth in Article 12.00 shall be conditionally permitted in the “C” – Commercial Industrial District, subject to the following terms and conditions and all other conditional zoning requirements:\*\* a. Any such use shall be conditionally permitted only in existing C-1 structures as of the date of this amendment.

b. Such structures must be adjacent to an existing “B-3” General/Regional Business District.

c. Such use shall comply with the sign requirements for the “C” Commercial Industrial District.

d. Such use shall meet the parking requirements for a “B-3” General Regional/Business District.

## **STAFF REVIEW**

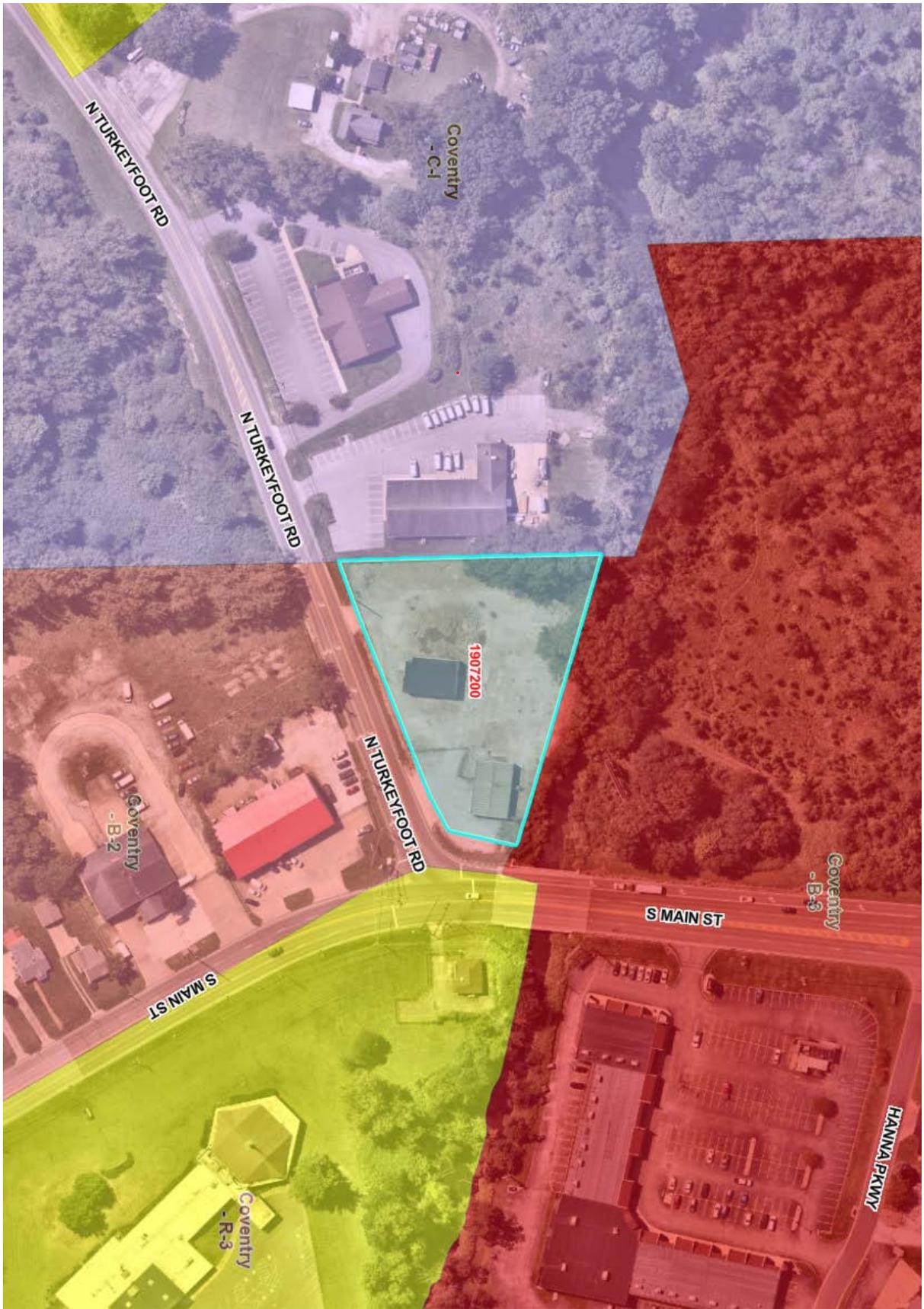
1. *Is the proposed zoning change reasonable given the nature of the surrounding area?* Yes, as there are adjacent C-1 zoned parcels.
2. *Can the property reasonably be used as currently zoned?* Yes.
3. *Is the proposed Map Amendment consistent with the objectives and goals of the Comprehensive Plan?* The Township does not have a Comprehensive/Future Land Use Plan

- 
4. *Is the proposed zoning change consistent with the stated purpose and intent of the zoning resolution and the applicable districts?* Yes.
  5. *How will the proposed zoning change impact public services and facilities?* The proposed zoning is a greater intensity use than the current zoning however it should not impact public services and facilities.
  6. *How will the proposed zoning change impact traffic, especially traffic safety?* The proposed change should not have an impact on traffic nor traffic safety.
  7. *Will the proposed zoning change adversely affect adjoining properties?* The proposed change should not adversely affect the adjoining properties as they all currently have C-I zoned adjacent parcels.
  8. *Is this an appropriate location for the proposed use or are there other available locations better suited for it?* Yes, as there are adjacent C-I zoned properties.
  9. *Will the proposed zoning change, change the character of the neighborhood?* The character of the neighborhood should not change as there is are C-I zoned parcels in the neighborhood currently.
  10. *Has there been a change in conditions that renders the original zoning inappropriate?* No.

**Staff Comments:**

- The site can be used as currently zoned.
- There are adjacent C-I zoned parcels.
- The proposed change should not adversely affect the adjoining properties as they all currently have C-I zoned adjacent parcels.

**Recommendation:** Staff recommends APPROVAL.



**APPLICATION FOR MAP AMENDMENT OR TEXT CHANGE TO THE ZONING  
RESOLUTION OF COVENTRY TOWNSHIP, SUMMIT COUNTY, OHIO**

Date 1/11/2024

Name of Applicant ARC Gas & Supply, LLC

Address of Applicant 4560 Nicky Blvd. Cuyahoga Heights, OH 44125

Phone Number of Applicant 216-341-5882

Email of Applicant jsteiger@arcgassupply.com

Address & Parcel # of Location of Map Change & Map 2400 South Main Street, Akron, OH 44319

PARID# 1907200

Name of Property Owner Burning River Akron, LLC

Address of Property Owner 4560 Nicky Blvd. Cuyahoga Heights, OH 44125

Email of Property Owner ss@arcgassupply.com

Present Zoning and Use of Property B-2

Proposed Zoning and Use of Property Commercial Industrial District. Bottle Gas Facility

List all Contiguous Property Owners & Addresses (Use additional space if needed)

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Section of Code to Be Revised (if applicable) \_\_\_\_\_

Reasoning For Request (Use additional space if needed) Property updates, see attached document.

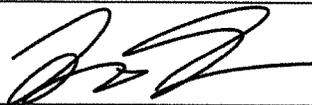
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Signature of Applicant 

Signature of Landowner (or Contract to Purchase) 

Date Submitted to Coventry Township 1/11/2024

Date of Fee Paid to Coventry Township (\$1,000.00) \_\_\_\_\_

Receipt Number: \_\_\_\_\_

Date of Initial Zoning Commission Hearing \_\_\_\_\_

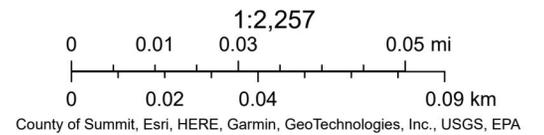
# Parcel Viewer Web Map by County of Summit



1/12/2024, 11:15:00 AM

 Parcels

 Jurisdictions



## ARC Gas 2400 South Main Street Occupancy

1. Phase 1
  - a. ARC Gas & Supply to occupy the property on 2400 South Main Street
    - i. ARC Gas is a distributor of industrial gases and welding supplies. We fill and deliver a wide range of bottled gases (Nitrogen, Oxygen, Argon, Helium, CO2, propane, etc.). The storefront will be used for order pick up and walk in sales of welding supplies.
2. Phase 2
  - a. Property Demolition
    - i. We will remove the 1,700 square foot filling dock in the center of the property, along with underground piping, and level the property with limestone.
    - ii. We will repair the fence along the entire property line.
    - iii. We will renovate the interior of the 2,400 square foot store.
3. Phase 3
  - a. A 60' x 150' x 18' warehouse/fill plant will be added, attached to the west of the existing store.
  - b. Add a 18,000 to 30,000 Gallon propane tank for bulk propane fills.
  - c. Add additional bulk tanks for onsite filling of Nitrogen, Oxygen, Argon

ARC Gas & Supply has operated safely and effectively out of our Cuyahoga Heights location since 2010. We have grown since inception to now having hundreds of customers in Northeast Ohio in multiple counties. We currently have 20 employees in our Cuyahoga Heights office and look to add many more at our new location at 2400 South Main Street.



Planning Commission  
Zoning Text Amendment  
**Life Care Facilities**  
Copley Township

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**Item No.:** 5  
**Meeting:** January 18, 2024  
**Proposal:** **Life Care Facilities**  
**Processor:** Stephen Knittel

---

**Proposal:** The applicant has proposed that the Copley Township Zoning Resolution be revised to amend Article 7, Section 7.10 Additional Criteria for Specified Conditional Uses L. Life Care Facility of the Copley Zoning Resolution in order to increase the effectiveness of on-site health care.

**Per Applicant:**

The Existing Text is Unreasonable because:

The existing text does not address the "amount and kinds of public facilities and services required" for this specific use. This is a general requirement for Conditional Uses which can be further specified in the Additional Criteria section.

The Proposed Text Would be Better because:

The updates will help ensure that facilities are able to provide the best care for their clients and Safety Services are best able to respond to residents of the Township and facility residents in timely and efficient manner.

**Existing Text:**

**L. Life care facility (C-GR, C-NR, C-O/R, I)**

All activities, programs and other events shall be adequately and properly supervised so as to prevent any hazard, and to assure against any disturbance or nuisance to surrounding properties, residents or the community in general.

**Proposed Text Amendments:** Update Additional Criteria to include the following components which will work to increase the effectiveness of on-site health care.

1. Review and approval of a Patient Transport Plan by the Copley Township Fire Chief and EMS Medical Director

2. Review and approval of an On-Site Patient Care Plan by the Fire Chief and EMS Medical Director

3. No Life Care Facility shall be established in any location which is within 1000 feet of the real property upon which another such facility is situated.

4. All structures and activity areas shall be located at least fifty (50) feet from all property lines.

**Recommendation:** Staff recommends to the Summit County Planning Commission that the proposed text amendments be **Approved**.



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**Item No.:** 6  
**Meeting:** February 22, 2024  
**Proposal:** **Swimming Pools**  
**Processor:** Stephen Knittel

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**Proposal:** The applicant has proposed that the Twinsburg Township Zoning Resolution be revised to amend Chapter 17, section 17.20 Swimming Pools, to alter allowable gap distance in the fence required to surround a swimming pool from 3 inches to 4 inches.

**Existing Text:**

**“CHAPTER 17**

**GENERAL PROVISIONS**

**“17.1-17.19** [no change]

**17.20 Swimming Pools.** Swimming pools shall be permitted by right in any R-district as accessory to a permitted principal use, subject to the following conditions in addition to use regulations in various districts:

- a. This section shall be applicable to pools containing water of a depth of eighteen (18) inches or more, whether in-ground or above-ground. This section shall not be applicable to pools containing water of a depth less than eighteen (18) inches.
- b. The pool shall be used solely for the enjoyment of the occupant and guests of the principal user of the property on which it is located.
- c. The pool shall be located behind the rear line of the principal building on the lot on which it is located.
- d. The pool shall be located not closer than ten (10) feet to any side or rear lot line. The deck surrounding an above-ground pool shall be located not closer than ten (10) feet to any side or rear lot line. Any impervious surface surrounding an in-ground pool shall be located not closer than five (5) feet to any side or rear lot line. Any pervious surface surrounding a pool shall not be subject to this requirement.

- e. The pool shall be completely surrounded by a fence with at least one (1) gate. The fence shall be not less than four (4) feet in height, and gaps between fence sections and/or members shall measure not more than three (3) inches in any direction. Fence gates shall be equipped with suitable locking devices to prevent unauthorized intrusion. For any above- ground pool surrounded by a vertical surface not less than four (4) feet in height, the fence portion of this requirement shall not apply to such pool, and the gate portion of this requirement shall apply only to the designated point(s) of access to such pool.”

**Proposed Text Amendments:**

- e. The pool shall be completely surrounded by a fence with at least one (1) gate. The fence shall be not less than four (4) feet in height, and gaps between fence sections and/or members shall measure not more than four (4) ~~three (3)~~ inches in any direction. Fence gates shall be equipped with suitable locking devices to prevent unauthorized intrusion. For any above- ground pool surrounded by a vertical surface not less than four (4) feet in height, the fence portion of this requirement shall not apply to such pool, and the gate portion of this requirement shall apply only to the designated point(s) of access to such pool.”

**Recommendation:** Staff recommends to the Summit County Planning Commission that the proposed text amendments be **Approved**.

TOWNSHIP OF TWINSBURG

COUNTY OF SUMMIT

STATE OF OHIO

RESOLUTION NO. 17-99 *As Amended*

A RESOLUTION TO MODIFY REQUIREMENTS FOR SWIMMING POOLS  
BY AMENDING CHAPTER 17 OF THE TOWNSHIP OF TWINSBURG

WHEREAS, an amendment to the Zoning Resolution of the Township of Twinsburg has been proposed in a manner as provided for in Chapter 519 of the Ohio Revised Code; and

WHEREAS, on \_\_\_\_\_, the Summit County Planning Commission considered said proposed amendment and forwarded its recommendation on said proposed amendment to the Twinsburg Township Zoning Commission (the “Zoning Commission”); and

WHEREAS, on \_\_\_\_\_, the Zoning Commission considered said proposed amendment, including holding a public hearing on said proposed amendment as required, and forwarded its recommendation on said proposed amendment to this Board;

NOW, THEREFORE, BE IT RESOLVED by the Board of Trustees of the Township of Twinsburg, County of Summit, State of Ohio:

SECTION 1. CHAPTER 17, GENERAL PROVISIONS, is hereby amended to read as follows:

**“CHAPTER 17**  
**GENERAL PROVISIONS**

**“17.1-17.19** [no change]

**17.20 Swimming Pools.** Swimming pools shall be permitted by right in any R-district as accessory to a permitted principal use, subject to the following conditions in addition to use regulations in various districts:

- a. This section shall be applicable to pools containing water of a depth of eighteen (18) inches or more, whether in-ground or above-ground. This section shall not be applicable to pools containing water of a depth less than eighteen (18) inches.
- b. The pool shall be used solely for the enjoyment of the occupant and guests of the principal user of the property on which it is located.
- c. The pool shall be located behind the rear line of the principal building on the lot on which it is located.
- d. The pool shall be located not closer than ten (10) feet to any side or rear lot line. The deck surrounding an above-ground pool shall be located not closer than ten (10) feet to any side or rear lot line. Any impervious surface surrounding an in-ground pool shall be located not closer than five (5) feet to any side or rear lot line. Any pervious surface surrounding a pool shall not be subject to this requirement.
- e. The pool shall be completely surrounded by a fence with at least one (1) gate. The fence shall be not less than four (4) feet in height, and gaps between fence sections and/or members shall measure not more than **four (4) ~~three (3)~~** inches in any direction. Fence gates shall be equipped with suitable locking devices to prevent unauthorized intrusion. For any above-ground pool surrounded by a vertical surface not less than four (4) feet in height, the fence portion of this requirement shall not apply to such pool, and the gate portion of this requirement shall apply only to the designated point(s) of access to such pool.”

SECTION 2. Meetings. This Board finds and determines that all formal actions of this Board concerning and relating to the adoption of this Resolution were adopted in an open meeting of this Board and any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements, including but not limited to Section 121.22 of the Revised Code.

SECTION 3. Effective Date. This Resolution shall become effective 30 days after the date of adoption of this Resolution or at the earliest date allowed by law.

This Resolution is hereby declared to have been adopted by the Board of Trustees of the Township of Twinsburg, County of Summit, State of Ohio, at a meeting, called and held on the ????? day of ?????, 2024.

YEAS:  
NEAS:  
ABSTAIN:

BOARD OF TRUSTEES

\_\_\_\_\_  
Jamey DeFabio, Chair

\_\_\_\_\_  
Thomas O. Schmidt, Vice Chair

\_\_\_\_\_  
James C. Balogh, Trustee

CERTIFICATION

I, the undersigned, do hereby certify that the foregoing is a true and correct copy of the resolution adopted by the Board of Trustees of the Township of Twinsburg, County of Summit, State of Ohio, at a meeting held on the ????? day of ?????, 2024, and that I am duly authorized to execute this certification.

\_\_\_\_\_  
Tania L. Johnson, Fiscal Officer



Planning Commission  
Zoning Text Amendment  
**Driveways**  
Northfield Center Township

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**Item No.:** 7  
**Meeting:** February 22, 2024  
**Proposal:** Driveways  
**Processor:** Stephen Knittel

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**Proposal:** The applicant has proposed that the Northfield Center Township Zoning Resolution be revised to amend Chapter 410 Off Street Parking and Loading Regulations, Section 410.10 Regulations for Access Drives, B. Driveways in Residential Areas, to add a new #5 “One driveway permitted per residential lot.”

**Existing Text:**

B. Driveways in Residential Areas:

1. Permit required.
2. Maximum width shall not exceed 18 feet.
3. Side pad shall not exceed 200 square feet.
4. Refer to Summit County Access Management current edition.

**Proposed Text Amendments:**

- 5. One driveway permitted per residential lot.**

**Recommendation:** Staff recommends to the Summit County Planning Commission that the proposed text amendments be **Approved**.



Planning Commission  
Zoning Text Amendment  
**Definitions**  
Northfield Center Township

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**Item No.:** 8  
**Meeting:** February 22, 2024  
**Proposal:** **Definitions**  
**Processor:** Stephen Knittel

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**Proposal:** The applicant has proposed that the Northfield Center Township Zoning Resolution be revised to amend Chapter 130 Definitions to amend Driveway, General to read Driveways are restricted to that area of a lot reserved for ingress and egress to the main structure or to a detached garage and shall consist of a hard surface material such as asphalt, concrete, brick, stone or porous pavers.

**Existing Text:**

Driveways are restricted to that area of a lot reserved for ingress and egress to the main structure and to a detached garage and shall consist of a hard surface material such as gravel asphalt, concrete, brick, stone or porous pavers.

**Proposed Text Amendments:**

Driveways are restricted to that area of a lot reserved for ingress and egress to the main structure ~~and to~~ **or to a detached garage** and shall consist of a hard surface material such as ~~gravel~~ asphalt, concrete, brick, stone or porous pavers.

**Recommendation:** Staff recommends to the Summit County Planning Commission that the proposed text amendments be **Approved**.



Planning Commission  
Zoning Text Amendment  
**Residential District Regulations**  
Northfield Center Township

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**Item No.:** 9  
**Meeting:** February 22, 2024  
**Proposal:** Residential District Regulations  
**Processor:** Stephen Knittel

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**Proposal:** The applicant has proposed that the Northfield Center Township Zoning Resolution be revised to amend Chapter 3.10 Residential District Regulations, Section 310.08, I#2, to alter allowable gaps in fences from 3 inches to 4 inches.

**Existing Text:**

2. Such fence shall be constructed so as to have no openings, holes, or gaps larger than 3 inches in any dimension, except for doors or gates. An accessory building may be used as part of such enclosure.

**Proposed Text Amendments:**

2. Such fence shall be constructed so as to have no openings, holes, or gaps ~~larger than 3~~ **larger than a maximum of 4 inches** in any dimension, except for doors or gates. An accessory building may be used as part of such enclosure.

**Recommendation:** Staff recommends to the Summit County Planning Commission that the proposed text amendments be **Approved**.