



Summit County Planning Commission (SCPC)
Thursday, August 31, 2023 - 3:00 p.m.
County of Summit, County Council Chambers
175 South Main Street, 7th Floor, Akron, Ohio
Meeting Agenda

- A. Call to Order
- B. Roll Call
- C. Approval of the June 29, 2023, SCPC Minutes
- D. Business Items

Chair Mavrides
Tubbs
Chair Mavrides
Knittel

New Business

- 1. **Item #1 – Ridge Drive Final Plat – Copley Township** - The site is located in Copley Township, off of Rothrock Rd. The applicant is proposing a 50' ROW public road to end in a temporary cul-de-sac for phase 1 of the proposed roadway. Future extensions of the roadway will have the road extend to the North and then access Rothrock Rd.
- 2. **Item #2 – Pool Ladders – Northfield Center Township** – Text Amendment – Add language to regulate pool ladders.
- 3. **Item #3 – Sidewalks – Northfield Center Township** – Text Amendment – Add language to regulate sidewalks.
- 4. **Item #4 – Portable Storage Unit Containers – Northfield Center Township** – Text Amendment – add language to regulate portable storage unit containers.

Old Business

None

- E. Report from Assistant Director
- F. Comments from Public
- G. Comments from Commission Members
- H. Other
 - 1. Legal Update
- I. Adjournment

Tubbs
Chair Mavrides
Chair Mavrides
Evans
Chair Mavrides



Summit County Planning Commission (SCPC)

Thursday, June 29, 2023 - 3:00 p.m.

County of Summit, County Council Chambers
175 South Main Street, 7th Floor, Akron, Ohio

Meeting Agenda

A. Call to Order

Chair Allen Mavrides

Chair Allen Mavrides called to order the Thursday, June 29, 2023 - SCPC monthly meeting at 3:00 p.m.

B. Roll Call

Stephen Knittel

| SCPC Member | Present |
|--------------------------|---------|
| Beckham, George | X |
| Dickinson, Erin | |
| Wiedie-Higham, Christine | |
| Jones-Capers, Halle | X |
| Kline, David | X |
| Mavrides, Allen | X |
| Reville, Rich | |
| Segedy, Jason | |
| Snell, Jeff | X |
| Stoiber, Dennis | X |
| Terry, Robert | |

Reported by *Stephen Knittel*, we have a quorum for SCPC meeting Thursday, June 29, 2023 – SCPC monthly meeting at 3:02 p.m.

C. Approval of the April 27, 2023, SCPC Minutes

Chair Allen Mavrides

| SCPC Member | Motion | Second | Yea | Nay | Abstain |
|---------------------------|--------|--------|-----|-----|---------|
| Beckham, George | | | X | | |
| Dickinson, Erin | | | | | |
| Wiedie- Higham, Christine | | | | | |
| Jones-Capers, Halle | | | X | | |
| Kline, David | X | | X | | |
| Mavrides, Allen | | | X | | |
| Reville, Rich | | | | | |
| Segedy, Jason | | | | | |
| Snell, Jeff | | | X | | |
| Stoiber, Dennis | | X | X | | |
| Terry, Robert | | | | | |

Motion

David Kline made a motion to *approve*, as corrected and revised **Thursday, April 27, 2023, SCPC meeting minutes**, and it was seconded by *Dennis Stoiber*, ***all in favor***, aye the corrected and revised **Thursday, April 27, 2023, SCPC meeting minutes**, the motion was *approved* with _0_ abstentions.

D. Business Items

Stephen Knittel

New Business

- Item #1 –Text Amendment - Bath Township** - The applicant has proposed that the Bath Township Zoning Resolution be revised to amend language used in sections 7, 5, and 12 for additional clarity.

Reported by Stephen Knittel:

The applicant is looking to revised and amend language in Sections 7, 5, and 12 for additional clarity. In reference to Article 7 Swimming Pools, propose for private pools have to be set back a minimum 20 feet from all lot lines and 10 feet from principal dwellings.

Article 7 Accessory Dwelling Units is detachable dwelling that is designed for persons that are related, employed on premises or temporary use of guest of the occupants of the principal dwelling. Detached living quarters located on the lot of the principal dwellings not rented or leased and not used as a separate dwelling.

Article 7 Commercial Accessory Structure for total building footprint area of all accessory building and structures on lots B-1, B-2, B-3, B-4 and B-5 should not exceed 144 square feet.

Article 5 Flag Lots the flagpole portion of the lot shall have a minimum lot width at the street right-of-way as required in Table 504-1 and Site Development Standards for Residential Zoning District and Table 504-2 Site Development Standards for Business and Mixed-Use Zoning Districts at no point shall the flagpole be tapered less than 25 feet in width.

Article 12 J Parking of Commercial Vehicles, Recreation Vehicles, Boats, Equipment and Trailers adding a section for recreation vehicles, boats, equipment and trailers required number of spaces adding a maximum car number of spaces and adding

Staff comments in reference Article 7 Accessory Dwelling Units that the proposed use of may cause some issues in enforcements as there is no definition for this, but traditionally there is difficulties in identifying and regulating what related means as well as family and that the intent that the township is trying to prevent is the accessory dwelling units from turning into air BnB's and rentals. With consideration to comments staff recommendations is approval.

Representation for the Township:

Bill Funk, Bath Township Zoning
3864 W. Bath Road, Akron, OH 44333

Explained that the flagpole portion is from previous code that speaks about the skinnier portion of the lot the flag is the larger portion of the lot the flagpole portion would be the back lot portion of the property.

Allen Mavrides asked, if the description of the property at the right-of way be and why was this assigned a shape?

Mr. Funk explained that the confusion was that you had to have 100-feet at the road right-of-way, how narrow could the flagpole portion be could you go down to 10-feet then increase it to the building wide then go down, so the township decided to define what the minimum wide of the flagpole portion would be. The township came up with 25-foot, currently the township has 5-foot set back on each side of the driveways which would give an additional 15-feet for an actual driveway.

Questions from the members:

Dennis Stoiber stated that you do not want at any point to be narrower than 25 feet, when you use the word taper it changes. He suggests that the township remove the word "taper" and the language read, "At no point shall the flagpole be less than 25 feet in width."

In reference to the word "Related" suggest language used in his township, family means an individual or group of persons related based upon birth, marriage, adoption or other domestic bond living together on premises as a single household, this shall additionally include any other similar living arrangement to be recognized by any applicable state or federal law.

David Kline asked, what would the lot area be for a resident to have an accessory dwelling unit, would this be in the whole township all residential or does this fit into a certain district.

Mr. Funk stated that any residential district can have an accessory dwelling unit as long as the residence meets the setback.

Jeff Snell asked about pool cover. He explained that his township required that the residence has a fence around the pool area as at times residence leave the pool cover off, and due to animals and children they require a fence.

Bath Township has taken this to zoning in refence to this and may of the residents have received variances in reference to the issue at hand.

Jeff Snell stated that he feels as though it is a bad idea for the township to not require the resident to have a fence around the pool area. Per regulations any pool that requires more than 1-feoot of water is required to have a pool.

Allen Mavrides stated that the does not have any issues with the revision, however, the 25 foot two (2) lines if they don't meet the right of way perpendicularly, they are not 25 feet at the right of way. How do you reconcile this?

Mr. Funk explained, At the right of way, it has to be 100 feet, this is where the word tapering came into play. It can be as small as 25 feet until it opens up measured perpendicularly to the property.

County Engineer's Office:

Joe Paradise, County Engineer's Office

Article 5 Flag Lots, suggestions to have a figure in the townships regulations of what this should look like, prepare an illustration of what this will be.

Summit Soil and Water: Not in attendance

Questions from the Public: No comments from the public

Discussion from the members:

Jeff Snell explained that there is an exception that allows an automatic pool covers under Ohio Building Code 3109.4

| SCPC Member | Motion | Second | Yea | Nay | Abstain |
|---------------------------|--------|--------|-----|-----|---------|
| Beckham, George | | X | X | | |
| Dickinson, Erin | | | | | |
| Wiedie- Higham, Christine | | | | | |
| Jones-Capers, Halle | | | X | | |
| Kline, David | | | X | | |
| Mavrides, Allen | | | X | | |
| Reville, Rich | | | | | |
| Segedy, Jason | | | | | |
| Snell, Jeff | | | X | | |
| Stoiber, Dennis | X | | X | | |
| Terry, Robert | | | | | |

Motion

Dennis Stoiber made a motion to *approve, with due regards to staff and commission comments* **New Business - Item #1 –Text Amendment - Bath Township** and it was seconded by *George Beckham, all in favor, aye* **New Business - Item #1 –Text Amendment - Bath Township**, the motion was *approved* with 0 abstentions.

2. **Item # 2 - Text Amendment - Bath Township** - The applicant has proposed that the Bath Township Zoning Resolution be revised to amend language used in sections 6 Riparian Corridor Overlay District, to provide additional clarity and direction.

Reported by Stephen Knittel:

The Section 6 of the Riparian Corridor Overlay District to provide additional clarity and direction. Summit Soil and Water made comments in reference to the amended language change, but the township has its own regulations, so they are combining township and county regulations to this language amendment.

Staff recommendation is approval.

Representation for the Township:

Bill Funk, Bath Township Zoning
3864 W. Bath Road, Akron, OH 44333

Bill Funk reported that they have been working with Summit Soil and Water, to help review the projects, so the intent is to align township and county regulations when amending the text language.

Questions from the members:

Dennis Stoiber asked, if all the language changes are any of them new to the township's regulations?

Mr. Funk explained, no. The township is trying to clarify the language.

Dennis Stoiber, suggests, that the members see a strike through document so that the members could understand what the township is changing as there is no way to understand what modifications the township is making as they do not know what is in the townships current code. He feels as though in his mind that the members do not accept an application for these modifications unless the township provides and strike through and underlined copy of the current code and the modified code. So that the members have a better change in understanding what the township is changing.

George Beckham asked, if the modification is similar to county regulations?

Stephen Knittel explained, yes and no.

Bill Funk explained that the basic intent of the language is the same.

County Engineer's Office:

Joe Paradise, County Engineer's Office

Joe Paradise explained that the County Engineer's office received the documents on Tuesday, June 27, 2023, was placed on the Engineer's desk on Wednesday, June 28, 2023, and has not had a chance to review the document as of this date. Joe Paradise explained that there is a new Summit County Codified Ordinance Section 943.05(A) Comprehensive Storm Water Management the Engineers office has not had a change to compare and contrast.

Summit Soil and Water: Not in attendance

Questions from the Public: No comments from the public

Discussion from the members: No further discussion from members

| SCPC Member | Motion | Second | Yea | Nay | Abstain |
|---------------------------|--------|--------|-----|-----|---------|
| Beckham, George | | | X | | |
| Dickinson, Erin | | | | | |
| Wiedie- Higham, Christine | | | | | |
| Jones-Capers, Halle | | | X | | |
| Kline, David | X | | X | | |
| Mavrides, Allen | | | X | | |
| Reville, Rich | | | | | |
| Segedy, Jason | | | | | |
| Snell, Jeff | | X | X | | |
| Stoiber, Dennis | | X | X | | |
| Terry, Robert | | | | | |

Motion

David Kline made a motion to table **New Business - Item #2 –Text Amendment - Bath Township**, pending further information from the County Engineer's Office and it was seconded by *Dennis Stoiber*, **all in favor, aye New Business - Item #2 –Text Amendment - Bath Township**, the motion was *tabled* with _0_ abstentions.

- Item # 3 - Text Amendment - Copley Township** - The applicant has proposed that the Copley Township Zoning Resolution be revised to add language directing the submittal and public notice requirements of major site plans.

Reported by Stephen Knittel:

Stephen Knittel reported that the applicant is requesting to add language to public notification of major site plans.

Staff recommendation is approval.

Representation for the Township:

Loudan Klein, Director Community and Economic Development for Copley Township

1540 S. Cleveland-Massillon Road

Copley, OH 44321

330-666-0108

Loudan Klein explained that this was a project the township submitted as a residential conservation development under the PED regulation under the Ohio Revised Code. Which begins with an architectural review board as a development plan which can take several months and does not initiate the public notification process, but some of the surrounding property owners found out that the project of this magnitude was being reviewed by the board and the adjacent property owners of the rezoning process but were not notified and were very upset. In the future, if approved, should the township receive an application on a major site plan the adjacent property owner would receive prior notification so that they would be aware of the process. This would have initially gone through the zoning commission, but there was no project at the time that required that.

Questions from the members: No comments currently

County Engineer's Office:

Joe Paradise, County Engineer's Office

Joe Paradise asked with projects involving Architectural Review Board, Summit County Planning Commission, Board of Trustee, Zoning Commission, does developer have to notify them each and every time?

Summit Soil and Water: Not in attendance

Questions from the Public: No comments from the public

Discussion from the members: No further discussion from members

Dennis Stoiber stated that it's a smart thing to do and the township provided enough information to support and identified the language change for property owners.

| SCPC Member | Motion | Second | Yea | Nay | Abstain |
|---------------------------|--------|--------|-----|-----|---------|
| Beckham, George | | | X | | |
| Dickinson, Erin | | | | | |
| Wiedie- Higham, Christine | | | | | |
| Jones-Capers, Halle | | | X | | |
| Kline, David | | X | X | | |
| Mavrides, Allen | | | X | | |

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|-----------------|---|--|---|--|--|
| Reville, Rich | | | | | |
| Segedy, Jason | | | | | |
| Snell, Jeff | | | X | | |
| Stoiber, Dennis | X | | X | | |
| Terry, Robert | | | | | |

Motion

Dennis Stoiber made a motion to *approve* **New Business- Item # 3 - Text Amendment - Copley Township**, with *due consideration to staff comments and County Engineer's Office comments*, and it was seconded by *David Kline*, ***all in favor***, *aye* **New Business- Item # 3 - Text Amendment - Copley Township**, the motion was *approved* with 0 abstentions.

4. **Item # 4 – Variance – Sunset Drive - Copley Township** - The applicant is requesting a variance of 1108.05 Public Street Right-of-way Widths and Grades. The request is to allow for a 50' ROW where the Subdivision Regulations require a 60' ROW.

Reported by Stephen Knittel:

Stephen Knittel reported that the applicant is requesting a variance from a preliminary plan received two (2) months ago and presented to the Summit County Planning Committee. The proposal is to extend the drive up from Copley Road and turn East to Cleveland-Massillon Road. The requirement is 60' of right-of-way per 1108.05 Public Street Right-of-way Widths and Grades the variance requested from the township is to reduce this to a 50' right-of-way.

Staff comments: Variances are to alleviate unnecessary hardships by literal enforcement of the subdivision regulations due to exceptional topographic or other physical conditions peculiar to a parcel. The Subdivision regulations require 60 ft. of right-of-way, the applicant is requesting a variance to reduce the right-of-way to 50 ft. Staff does not see an unnecessary hardship.
Staff recommendation disapprove.

Representation for the Township:

Loudan Klein, Director Community and Economic Development for Copley Township
1540 S. Cleveland-Massillon Road
Copley, OH 44321
330-666-0108

Loudan Klein explained that the currently the existing right-of-way on Sunset Drive is about 760 feet that is 50 feet. In 2019 and 2020, the township worked with the property owners to dedicate the property to create public right-of-way as Sunset Drive was formally a private road. Extending the right-of-way to 60 feet in the that area would necessitate renegotiating with the property owners to agree to the additional taking of property to expand that road an additional 5 feet on each side.

The Board of Trustees has approved the construction drawings of this building. It has been reviewed by the police and fire departments to meet their needs and has been supported by the voters in the November 2022 levy.

The safety center is on the northwest portion of Sunset Drive and has created a unique parcel for development, which will build the police and fire facilities on which is almost complete to meet the needs of the community. The lot is very linear and challenging for architecture to build the facility on to meet the required needs for the police and fire and make it aesthetic. Expanding this right-of-way would impact the layout of the building, parking on the east side of the building for public and would have to come up with another design. Utilities will not have any conflict additional right-of-way has not been required by any of the providers at this time.

The stormwater basin on the north portion of the site is very tight, there is one on the curvature of the road as well as the access point on Cleveland-Massillon Road as there is a railroad there that may potentially be impacted, and the sizing may not meet the requirements as additional land may be taken for the maintenance firm for access to those basins as well. Mr. Klein explained that they are aware of concerns reducing right-of-way for safety forces, however this project is for the safety forces and the safety center. This has been reviewed and have no objections to the proposed right-of-way and it is very important to fire and police to have secondary access for the response time. All other designs are meeting all regulations and it is important to the safety department for response time.

The impact of the required 60-foot right-of-way may delay the construction and design of this project by several months or longer if the property owners were not acceptable to the project in the area. The architecture has completed the design, there is a construction manager at risk on board with excavation, time, weather and with season change they are very eager to get started.

Questions from the members:

Allen Mavrides asked, in the prior months when this application was presented what were the criteria, conditions or suggestions that the SCPC members made?

Mr. Klein answered, the direction was to work with the County Engineer's office which they have met with the Engineer's office suggested that they submit a variance application which is why the township is here today.

Jeff Snell states that it is accurate to say that the pavement area is substantially what the pavement would have been if it was a 60-foot right-of-way the pavement itself and none of the public utilities are in the extra 5 feet on both sides. Correct?

Mr. Klein responded, yes. The township has placed an easement on west side for sewer and have worked with Summit County and they have no issues with the placement of that.

Jeff Snell asked if we allow 50-foot rights-of-way on a number of roads on some subdivisions since it's a double connection.

Mr. Klein explained that they are proposing 13-foot lanes, traditionally its 12 feet, but with the fire apparatus they are proposing 13 feet.

County Engineer's Office:

Joe Paradise, County Engineer's Office

Corrected the soft 760 feet the existing 50 foot wide, they are not asking for this to be renegotiated, replated or widened. The Engineer's office was only referring to the north side of the property line to the curve out. The impacts allow them to identify, but there was never an impact on the east side of the build. If you add a 5-foot right of way on the east side nothing changes. Commercial sites are required to be 60-foot, residential and subdivisions are allowed 50-foot.

David Kline asked, the portion that is really being requested is the 700 feet around the curve and the detention pond, so there is no building that will go on this part of the build. The north side railroad is stormwater side, and no building will go on this side.

Joe Paradise stated, it's the whole portion bottom of the police station and fire station, up and around.

Jeff Snell clarified that the road is being extended north and makes the curve and have negotiated with all the property owners to extend that road in the road and right of way. So, the Engineer's Office is seeking the curve from the southside and the curve all the way out to Cleveland-Massillon they want that 5 feet which is 50 feet.

Mr. Klein explained that they would have negotiated on the southern portion, however there is a service department with Autobanh (European car shop) 1330 S Cleveland Massillon Rd, Copley, Ohio and they negotiated a MOU with the owner to swap any land in their area, however they shifted the road 13 feet to the south, which took more land from the Autobanh owner, and the land swap is now inaccurate.

Summit Soil and Water: Not in attendance

Questions from the Public: No comments from the public

Discussion from the members:

Dennis Stoiber stated that per the utilities for future use of this road and any sort of variance should not be overlooked and when making a decision then this also sets precedence and the SCPC is on the right track and the SCPC knows when making a decision.

David Kline explained that the whole one side of the road is publicly owned by the township for them to sell the property it would have to go in front of the voters in 50-60 years from now. This is a unique site.

Jeff Snell made a motion but wanted to include and make clear that this is a precedence that will not affect another site as this is pretty unique.

Allen Mavrides addressed Joe Paradise in reference to maintaining the road. Mr. Klein explained that this is a township road and township is responsible for maintaining the road.

Jeff Snell referenced changed in reference to notices. In order to do a referendum, 8% of the people who voted for Governor can place it on the ballot to do a referendum to a zoning change. State legislature is trying to change this to 25%.

| SCPC Member | Motion | Second | Yea | Nay | Abstain |
|---------------------------|--------|--------|-----|-----|---------|
| Beckham, George | | | x | | |
| Dickinson, Erin | | | | | |
| Wiedie- Higham, Christine | | | | | |
| Jones-Capers, Halle | | | x | | |
| Kline, David | | x | x | | |

| | | | | | |
|-----------------|---|--|---|--|--|
| Mavrides, Allen | | | X | | |
| Reville, Rich | | | | | |
| Segedy, Jason | | | | | |
| Snell, Jeff | X | | X | | |
| Stoiber, Dennis | | | X | | |
| Terry, Robert | | | | | |

Motion

Jeff Snell made a motion to *approve* **New Business - Item # 4 – Variance – Sunset Drive - Copley Township**, *due to unique circumstances including to the railroad to the north of the property, the need to make sure the curve has the proper radius, the applicant is making wider lane for easier access, all the utilities are contained in the 50 foot right-of-way, this provides a two-way access for the site and knowing what is being developed on the site that this is important to both police and fire*, and it was seconded by *David Kline*, ***all in favor***, *aye* **New Business - Item # 4 – Variance – Sunset Drive - Copley Township**, the motion was *approved* with 0 abstentions.

- Item # 5 – Text Amendment– Sagamore Hills Township** - The applicant has proposed that the Sagamore Hills Township Zoning Resolution be revised to add language prohibiting wind powered generators, also prohibiting shipping containers, cargo containers, ISO containers, Intermodal containers, box truck beds, or similar structures from being used as a primary or accessory structure.

Reported by Stephen Knittel:

Stephen Knittel reported the township requested to amend text language revising prohibits to allowing prohibiting wind powered generators. Also adding Item M: prohibiting shipping containers, cargo containers, ISO containers, Intermodal containers, box truck beds, or similar structures from being used as a primary or accessory structure.
Staff recommendation approval.

Representation for the Township:

Township representative Jeff Snell

Questions from the members:

Dennis Stoiber asked what is an ISO container?

Jeff Snell explained an ISO container all of the definitions that the industry referred to things that are on ships.

Inter-modal is defined as involving two or more different modes of transportation in conveying goods. Like a shipping container that a resident place in their backyard and refers to it as a shed. The county does not regulate a shed when it is under 200 square feet, but if you want to build, you must demonstrate that meet structural integrity and the resident must get a study to show that it meets that.

David Kline asked, if the ISO container is allowed to be used for temporary use.

Jeff Snell explained, yes, by permit.

George Beckham asked, is the prohibition against the wind powered generator is that being used as a structure, are you prohibiting windmills as actual generators?

Jeff Snell answered, yes. The questions ion reference to generators is where they can fall. The turbines are quite large in size and the impacts on adjoining properties. Typically, you have a one (1) acre lot, and the requirement is 35 foot in height, and some can be larger. If someone wanted to build a turbine, what are you allowed to have, has been the question at hand.

George Beckham asked, is this limited and prohibited to all size lots? If someone has 5 acres, are they allowed to build a turbine?

Jeff Snell answered, no, they are prohibited. The state regulated this. The township recently got authority that regulate solar and wind that generate smaller amounts of energy which is under 10 watts of energy and based on the revised codes the township meets the requirements.

Dennis Stoiber asked why does the township care if the turbine is making energy or not?

Jeff Snell explained that currently the township does not have anyone who wants to build a turbine, they are taking precautions for future reference.

Allen Mavrides stated in his opinion to let someone try and let them go to the BZA (Board of Zoning Appeals) about the build, as you cannot deny someone something that they would like to build.

Jeff Snell stated that should a homeowner present this to the BZA if approved the townships hands are tied and they have no jurisdiction over the decision.

David Kline referenced the gas and oil well industry, the city was able to regulate gas and oil wells then the State came in and stated you can only regulate the ingress/egress.

Jeff Snell referenced Ohio Revised Code - Section 519.213 | Township small wind farm zoning regulations (solar and wind).

County Engineer's Office: No comment

Summit Soil and Water: Not in attendance

Questions from the Public: No comments from the public

Discussion from the members: No further discussion from members

| SCPC Member | Motion | Second | Yea | Nay | Abstain |
|---------------------------|--------|--------|-----|-----|---------|
| Beckham, George | | | x | | |
| Dickinson, Erin | | | | | |
| Wiedie- Higham, Christine | | | | | |

| | | | | | |
|---------------------|--|--|---|---|---|
| Jones-Capers, Halle | | | x | | |
| Kline, David | | | | X | |
| Mavrides, Allen | | | x | | |
| Reville, Rich | | | | | |
| Segedy, Jason | | | | | |
| Snell, Jeff | | | | | x |
| Stoiber, Dennis | | | x | | |
| Terry, Robert | | | | | |

Motion

Dennis Stoiber made a motion to **approve New Business - Item # 5 – Item # 5 – Text Amendment– Sagamore Hills Township**, with due consideration of the extended discussion by Staff and SCPC members and it was seconded by *Allen Mavrides*, ***all in favor, aye New Business - Item # 5 – Item # 5 – Text Amendment– Sagamore Hills Township***, the motion was *approved* with 1 oppose (*Kline*) and 1 abstentions (*Snell*).

Old Business

1. **Item # 1 – 2023 Proposed Updates to The Subdivision Regulations** – The Subdivision Review Committee has submitted a redlined document of proposed changes to the current subdivision regulations.

Reported by Stephen Knittel:

Questions from the members: No comment

County Engineer's Office: No comment

Summit Soil and Water: Not in attendance

Questions from the Public: No comments from the public

Discussion from the members: No further discussion from members

| SCPC Member | Motion | Second | Yea | Nay | Abstain |
|---------------------------|---------------|---------------|------------|------------|----------------|
| Beckham, George | | | x | | |
| Dickinson, Erin | | | | | |
| Wiedie- Higham, Christine | | | | | |

| | | | | | |
|---------------------|---|---|---|--|--|
| Jones-Capers, Halle | | | X | | |
| Kline, David | | | X | | |
| Mavrides, Allen | | | X | | |
| Reville, Rich | | | | | |
| Segedy, Jason | | | | | |
| Snell, Jeff | X | | X | | |
| Stoiber, Dennis | | X | X | | |
| Terry, Robert | | | | | |

Motion

Jeff Snell made a motion to *approve* **Old Business Item # 1 – 2023 Proposed Updates to the Subdivision Regulations** and it was seconded by *Dennis Stoiber*, *all in favor, aye* **Old Business - 2023 Proposed Updates to the Subdivision Regulations**, the motion was *approved* with 0 abstention.

E. Report from Assistant Director **Assistant Director Dennis Tubbs**
No updates

F. Comments from Public **Chair Allen Mavrides**
No one from the public was present

G. Comments from Commission Members **Chair Allen Mavrides**
No further comments from the planning commission members

H. Other **Attorney Marvin Evans**
1. Legal Update

Atty Marvin Evans reported, the Delfino case has gone to court and the court has upheld the decision of the planning commission's recommendations. The homeowner Mr. Delfino has until Monday, July 3, 2023, to appeal. There was an issue with the septic system and the homeowner could not get it worked out with Summit County Public Health.

I. Adjournment **Chair Allen Mavrides**

| SCPC Member | Motion | Second | Yea | Nay | Abstain |
|---------------------------|--------|--------|-----|-----|---------|
| Beckham, George | | | X | | |
| Dickinson, Erin | | | | | |
| Wiedie- Higham, Christine | | | | | |
| Jones-Capers, Halle | | | X | | |

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|-----------------|---|---|---|--|--|
| Kline, David | | X | X | | |
| Mavrides, Allen | | | X | | |
| Reville, Rich | | | | | |
| Segedy, Jason | | | | | |
| Snell, Jeff | | | X | | |
| Stoiber, Dennis | X | | X | | |
| Terry, Robert | | | | | |

Motion

Dennis Stoiber made a motion to *adjourn* the **Thursday, June 29, 2023, SCPC monthly meeting**, and it was seconded by *David Kline*, ***all in favor, aye***, the **Thursday, June 29, 2023, SCPC monthly meeting** adjourned at 4:24 p.m. with _0_ abstentions.

These minutes were recorded, prepared, and represent the writer's best recollection of the items discussed by:

Tazena Long, Executive Assistant

Department of Community and Economic Development

Monday, July 17, 2023 at 1:15 p.m.



Planning Commission
Final Plat
Ridge Drive
Copley Township

EXECUTIVE SUMMARY

The site is located in Copley Township, off of Rothrock Rd. The applicant is proposing a 60' ROW public road to end in a temporary cul-de-sac for phase 1 of the proposed roadway. Future extensions of the roadway will have the road extend to the North and then access Rothrock Rd.

Staff recommends **APPROVAL** of the Final Plat.

| | | | |
|------------------|------------------------|-----------------------|-----------------|
| Meeting: | August 31, 2023 | Parcels: | 1504432 |
| Item No.: | 1 | Council Dist.: | 5 |
| Engineer: | Matt Weber | Processor: | Stephen Knittel |
| Zoning: | C-GR | | |

Location: The site is located in Copley Township, off of Rothrock Rd.

Proposal: The applicant is proposing a 60' ROW public road to end in a temporary cul-de-sac for phase 1 of the proposed roadway. Future extensions of the roadway will have the road extend to the North and then access Rothrock Rd.

History: The Preliminary Plan was conditionally approved at the April 27, 2023 SCPC meeting.



Agency Comments *Italicized text* indicates quotations from submitted agency comments.

Summit County Engineers Office: Andy Dunchuck, 08/25/2023:

Our office has reviewed the revised and attached Dedication Plat and has the following comments:

Review Comments

1. Parcel 3 is split by Robert Birch Blvd. Our office suggests making the West 1.754 acres into Parcel 4 and revising the East portion of Parcel 3 as containing 9.8623 acres (Revise Title Page and Sheet 2 of 3).

In addition, our office has completed it's review of the revised Improvement Plans (8/3/23) and SWM Calculations (8/15/23) and these comments have been included as attachments. Relatively minor comments remain, but an approval has not yet been issued by our office.

Staff Comments:

Conditional Approvals cannot be given to Final Plats, per the SCE office comments only relatively minor comments remain to be addressed.

Recommendation: Staff recommends **APPROVAL** of the Final Plat.

From: [Andy Dunchuck](#)
To: [Connor Pons](#)
Cc: ["Matt Birch"](#); [Tim Boley](#); [Joe Paradise](#); [Mikheidze, Sasha](#); [Matt Weber](#); [Loudan W. Klein](#)
Subject: RE: 2022-227 The Ridge Drainage
Date: Tuesday, August 15, 2023 12:07:00 PM
Attachments: [Ridge Drive Review Comments.msg](#)
[image003.png](#)

Matt/Connor,

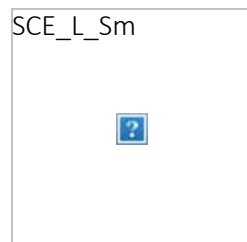
Our office has reviewed the Revised SWM Report for the above referenced project and has the following comments listed below. Please revise and resubmit accordingly for further review. If you have any questions regarding this matter, please contact our office prior to resubmitting.

With respect to the 'Limited Grading & ESCP Mass Grading Plan', our office will permit grading operations to begin prior to final plan approval provided we receive written concurrence (email) all outstanding review comments (Improvement Plan (See Attached email), SWM Report and Dedication Plat) will be complied with. Please note, this On-Site Grading is 'At Risk' by the Developer/Owner since plans and calculations have not yet been approved. Any revisions to the plans that may differ from the 'Limited Grading & ESCP Mass Grading Plan' will have to be implemented on-site.

A Road Opening Permit and Performance is required to be obtained from our office prior to the start of any construction within the R/W of Rothrock Road. In addition, the Summit SWCD must be contacted prior to the start of construction to verify compliance with starting grading operations.

Thanks,

Andy Dunchuck, P.E., CPESC, CPSWQ
Summit County Engineer's Office
538 East South Street
Akron, OH 44311-1843
email: adunchuck@summitengineer.net
website: <http://engineer.co.summit.oh.us/>



Review Comments – Revised SWM Report

1. The Pre and Post Development Drainage Maps have a small portion of contours lines that have been omitted. Please update the maps accordingly.
2. The Outlet Structure information in the Improvement Plans needs to be updated to reflect the revised SWM Report.
3. The Improvement Plans need to be updated to show how the Retention Basin discharge will be conveyed to the Existing 27" Culvert on Rothrock Road. This work will need to be placed in a 'SWM Easement' outside of the R/W unless the existing roadside ditch is being utilized. Also, add the 'SWM Easement' for this work to the Dedication Plat.
4. Include the '1S Hydrograph' from the 7/14/23 Report for the Pre-Developed 50-Year and 100-Year Storm Events for the 'Allowable Runoff' in the Phase 1 Development Condition.
5. Provide the Combined Hydrograph (Outflow from Basin & Bypass) to verify the 'Inflows' in the 'Summary for Pond 20P & 21P'.
6. Include the Storm Sewer Calculations, 25-Year HGL, Pavement Spread Calculations, etc... from the 7/14/23 Report in the Revised Report.

Review Comments – Dedication Plat

1. Parcel 3 is split by Robert Birch Blvd – suggest making the West 1.754 Acres into Parcel 4 and revising the East portion of Parcel 3 as containing 9.8623 Acres (Sheet 2 of 3 and Title Page).

From: Connor Pons <connor@webercivil.com>

Sent: Tuesday, August 8, 2023 8:04 PM

To: Andy Dunchuck <adunchuck@summitengineer.net>; Tim Boley <tboley@summitengineer.net>

Cc: Matt Weber <matt@webercivil.com>; 'Matt Birch' <mattbirch60@gmail.com>

Subject: 2022-227 The Ridge Drainage

Andy and Tim,

Attached is a "worksheet" storm water management report for The Ridge. We are proposing a minor alteration to what we had discussed on the phone last week.

We are still taking all pond outflow down to the existing 27" storm sewer crossing Rothrock Rd., however we are observing the northerly undeveloped site area as bypass in the post-developed conditions. This undeveloped area would need its own critical storm analysis and detention/retention practices in the future. If we were to perform a critical storm comparison for the area as a whole, we

would be forced to install the second pond just for the sake of capturing runoff from an undeveloped upstream area (in order to drive down post-developed flow rates).

We view this similarly to developing next to any other undeveloped/wooded area. Since it's not being developed yet, our thought is that it can drain as it currently does for the time being.


Thank you and have a nice evening,

Connor Pons, PE

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Weber_TagLine



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Rootstown, OH 44272
330-998-2628
connor@webercivil.com
[https://link.edgepilot.com/s/7e61b89b/whmc2TJQGUWnqsM5txFOHw?](https://link.edgepilot.com/s/7e61b89b/whmc2TJQGUWnqsM5txFOHw?u=http://www.weberengineeringservices.com/)
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From: [Andy Dunchuck](#)
To: [Connor Pons](#)
Cc: [Matt Weber](#); "[Shawna Gfroerer](#)"; [Tim Boley](#); [Mikheidze, Sasha](#); [Knittel, Stephen](#); [Joe Paradise](#); amavrides@dlz.com
Subject: RE: 2022-227 The Ridge Townhomes
Date: Thursday, August 3, 2023 12:25:00 PM
Attachments: [image003.png](#)

Connor,

Our office has reviewed the Improvement Plans for the above referenced project and has the following comments listed below. The revised SWM Report will be reviewed once received. Please revise and resubmit accordingly for further review. If you have any questions regarding this matter, please contact our office prior to resubmitting.

Thanks,

Andy Dunchuck, P.E., CPESC, CPSWQ
Summit County Engineer's Office
538 East South Street
Akron, OH 44311-1843
email: adunchuck@summitengineer.net
website: <http://engineer.co.summit.oh.us/>



Review Comments

1. An LTMA will be required for the project. Once the plans have been approved, our office will prepare and provide the LTMA to the owner for signature/notary. Once all signatures have been obtained, the LTMA will be returned to the owner for recording.
2. Summit SWCD approval of the project is required prior to our office approving the plans. Please submit written verification (pdf via email) from Summit SWCD that they have issued an approval.
3. Our office will review the revised Dedication Plat that was resubmitted on 8/3/23. Please

add the 'Stormwater Management Note' on Sheet C104 to Pages 2 & 3 of the Plat.

4. On the Title Sheet, under the 'Reviewed By: Andy Dunchuck, P.E., Summit County Engineer's Office' Signature Block, add a Signature Block for the Summit County Engineer.
5. Provide a Road Name (For Road A) and update the Plans and Plat accordingly.
6. On all Plan & Profile Sheets, provide Station and Offset information for the Proposed Storm Structures.
7. On Sheet C103, Structures 11 & 12 and 13 & 14 will need to be ODOT CB No. 3 (Double) Catch Basins. Also, remove the Typo (2+00) located at Structure 12.
8. On Sheet C103, Structure 43 has a 12" Inv E = 1068.52 but Existing Structure 1 has a 12" Inv E = 1069.52. Revise these discrepancies accordingly.
9. On Sheets C103 & 104A, at the 'Road A and Rothrock Road' Intersection, end the Proposed Gutter 10' prior to its current termination point and start the Curb Taper from 6" to 0" at this location. Also, provide Station and Offset information.
10. On Sheets C103 & C103A, for the proposed Stop Signs, define the dimensions as 30" x 30".
11. On Sheet C103C – C103E and C103H, define the type of ODOT Structure to be used for the 'Curb Inlets'. Also, on Sheet C103G and C103H, define 'HDPE = ODOT Item 707.33'.
12. Upon review of the Dedication Plat, the Proposed Private Drives on Sheets C103C – C103F and C105 are not required to meet the design standards in the Subdivision Regulations. Should the Private Drive Typical Section on Sheet C105 be implemented correct the following items: Item 8 Bubble should be replaced with Item 9; the ODOT Type 3 Curb and Gutter Standard Drawing should be added to this Sheet and show the Underdrain on both sides of the pavement.
13. On Sheet C103A, the PT Station (11+13) is not correct.
14. On Sheet C103E, Private Drives B & C must have a Low Point about 10' from the Road A intersection with ODOT No. 3 Catch Basins to intercept the runoff to prevent drainage from entering the intersection.
15. On Sheet C103G, provide dimensions for the proposed Rock Channel Protection at the Emergency Spillway outlet.
16. On Sheet C104, for the 100 Year Overland Flow Path provide a minimum '30' Stormwater Management Easement' from the 'Road A' R/W to the Stormwater Management Easement for the Proposed Retention Basin and update the Plat accordingly.

17. On Sheet C104A, provide more proposed elevations within the pavement areas of the Intersection Details.
18. On Sheet C105, remove the 'Typical Sign Detail' and label the Gutter thickness as 9" in the ODOT Type 2 Curb and Gutter Detail. Also, in the Typical Pavement Section, label the lane widths as 15' (The width is not variable) and revise the R/W width to 60'.
19. On Sheet C105D, update the ODOT MH No. 3 Standard Drawing (7/21/23) and on Sheet C105C update the New Curb Ramps Standard Drawing (7/21/23).

From: Connor Pons <connor@webercivil.com>

Sent: Friday, July 14, 2023 4:22 PM

To: Andy Dunchuck <adunchuck@summitengineer.net>

Cc: Matt Weber <matt@webercivil.com>; 'Shawna Gfroerer' <SGfroerer@copley.oh.us>; Tim Boley <tboley@summitengineer.net>; Mikheidze, Sasha <smikheidze@summitoh.net>; Knittel, Stephen <sknittel@summitoh.net>; Alan Brubaker <abrubaker@summitengineer.net>; Joe Paradise <jparadise@summitengineer.net>; Larry Fulton <lfulton@summitengineer.net>; amavrides@dlz.com

Subject: 2022-227 The Ridge Townhomes

Good afternoon, Andy

Please see the dropbox link below to access the revised plans, plat, stormwater management report, and response letter for The Ridge Townhomes:

[https://link.edgепilot.com/s/f908db1e/VU6Ne625-0CXPX4RQKILnw?
u=https://www.dropbox.com/sh/0uyc0iulobr8f2v/AAC7r3s4bowmrMrCMcGaWGCxa?dl=0](https://link.edgепilot.com/s/f908db1e/VU6Ne625-0CXPX4RQKILnw?u=https://www.dropbox.com/sh/0uyc0iulobr8f2v/AAC7r3s4bowmrMrCMcGaWGCxa?dl=0)

Please let us know if any hard copies are needed.

Thank you and have a nice weekend,

Connor Pons, PE

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Weber_TagLine



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Rootstown, OH 44272
330-998-2628


connor@webercivil.com

[https://link.edgepilot.com/s/0d2cd729/c0rTEIE4806Sqttb32ygsg?
u=http://www.weberengineeringservices.com/](https://link.edgepilot.com/s/0d2cd729/c0rTEIE4806Sqttb32ygsg?u=http://www.weberengineeringservices.com/)

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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY, AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND UNDERSTAND THE LOCATION AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE OWNER. THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



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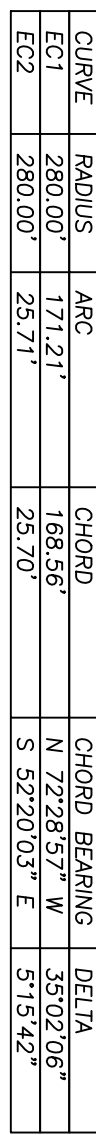
CLIENT

| DATE | COMMENT |
|------------|--|
| 05-24-2023 | REDESIGN OF LOTS AND ROAD ALIGNMENT |
| 07-05-2023 | REDESIGN OF ESMTS, ADDITION OF ROTHROCK WIDENING |

REVISIONS

SCALE 0 20 40
1" = 40 FEET
D.R. REM CH. CJD
P.M. DEMPSEY

63



| CURE | RADIUS | ARC | CHORD | CHORD BEARING | CHORD LENGTH |
|------|--------|---------|---------|---------------|--------------|
| C1 | 250.00 | 184.51° | 180.35" | N 68.51° E | 427.175" |
| C2 | 250.00 | 133.32° | 131.74" | N 32.26° W | 30.53314" |
| C3 | 250.00 | 317.83° | 296.65" | N 53.34° W | 72.5029" |
| C4 | 500.00 | 128.87° | 128.51" | N 09.46° W | 1.44602" |
| C5 | 500.00 | 20.87° | 20.87" | N 01°11'45" W | 2.2329" |
| C6 | 500.00 | 149.74° | 149.18" | N 08.34° W | 1.70931" |
| C7 | 250.00 | 39.12° | 35.25" | N 45.10° W | 89.5943" |
| C8 | 280.00 | 196.93° | 192.89" | N 69.51° W | 40.7148" |
| C9 | 280.00 | 159.04° | 156.91" | N 33.25° W | 32.3241" |
| C10 | 530.00 | 355.97° | 332.48" | N 53.34° W | 72.5029" |
| C11 | 280.00 | 135.61° | 135.44" | N 09.40° W | 1.44055" |
| C12 | 530.00 | 22.91° | 22.91" | N 01°14'18" W | 2.2836" |
| C13 | 530.00 | 158.72° | 158.13" | N 08.34° W | 1.70931" |
| C14 | 470.00 | 120.02° | 119.70" | S 07°18'56" E | 1.43753" |
| C15 | 25.00 | 32.97° | 30.64" | S 52.25° E | 75.5422" |
| C16 | 60.50 | 154.58° | 115.83" | S 17.00° E | 1.462338" |
| C17 | 25.00 | 32.00° | 29.86" | S 19.30° W | 73.2055" |
| C18 | 220.00 | 79.69° | 66.23" | S 53.34° E | 72.5029" |
| C19 | 25.00 | 39.42° | 35.43" | N 44.49° E | 90.2017" |



Planning Commission
Zoning Text Amendment
Pool Ladders
Northfield Center Township

Item No.: 2
Meeting: August 31, 2023
Applicant: Northfield Center Zoning Commission
Proposal: **Pool Ladders**
Processor: Stephen Knittel

Proposal: To amend the Northfield Center Township Zoning Resolution Chapter 310 Residential District Regulations to add text for Pool Ladders for above ground pools.

Proposed Text Amendments:

Add to Section 310.08, letter I, a new #7 to read:

- 7) Pool Ladders-for above ground pools.
- a) When not in use, pool ladders shall be folded up and/or locked.
 - b) A-frame pool ladders that are unable to be locked shall be removed from the pool and stored in a secure area away from the pool when not in use.

Existing Text:

Sec. 310.08 ACCESSORY USE REGULATIONS.

Accessory uses, buildings and structures in residential districts shall conform to the location, coverage and maintenance standards contained in this Section.

- A. Principal Building Projections in Required Yards. Skylights, sills, belt- courses, cornices, chimneys, and ornamental features attached to the principal building may project a maximum of 12 inches into a required yard.
- B. Location Requirements for Accessory Uses. An accessory building or use permitted in a residential district shall be located as set forth in Schedule 310.08. However, an accessory use shall only be permitted to the extent such use complies with all other accessory use regulations set forth in this section.
- C. Schedule 310.08: Amended via Resolution No 03/08-18e;Res. No.14/10-06E

| Use | Yard Permitted | Front Yard Regulations | Minimum Setback From Lot Line | |
|--|-------------------|------------------------|-------------------------------|---------|
| | | | Side | Rear |
| 1. Detached accessory buildings, including garages | Side, rear | NA | 10 ft. | 10 ft. |
| 2. Driveways | Front, side, rear | -- | 3 ft. ^(a) | 3 ft. |
| 3. Terraces, uncovered porches, platforms, ornamental features that do not extend more than 3 feet above the | Front, side, rear | (b) | 3 ft. | (c) |
| 4. Fences, walls | Front, side, rear | 3 ft. ^(d) | On Line ^(d) | On Line |
| 5. Outdoor storage of recreation vehicle | Rear, Side | NA | 20 ft. | 20 ft. |
| 6. Swimming pools | Rear | NA | (c) | (c) |
| 7. Satellite Dishes with a diameter greater than 39 inches | Rear | NA | (c) | (c) |
| 8. Pergola | Side, rear | NA | 10 ft. | 10 ft. |
| 9. Gazebo | Side, rear | NA | 10 ft. | 10 ft. |
| 10. Residential Carport Canopy and Storage Structure | Rear, side | | | |
| Notes to Schedule 310.08: NA = Not applicable ^(a) This setback shall not apply to repair, resurfacing or reconstruction of existing driveways. ^(b) May project a maximum of 10 ft. into required front yard. ^(c) Shall comply with setbacks for principal buildings set forth in Schedule 310.05. ^(d) Applies to the footer as well, see Sec. 310.08I for maximum height limitations and openness criteria. Fences constituting a corral shall comply with the regulations set forth in Sec. 310.08L. | | | | |

H. Swimming Pools. Residential swimming pools may be located in any Residential District provided they comply with the locational and coverage requirements of Schedule 310.08 and Sec. 310.08D and the following supplemental regulations:

1. In ground and above-ground pools with a height of less than four (4) feet or soft-wall pools 18 inches in height or greater shall be completely surrounded by a fence or wall not less than four (4) feet in height.
2. Such fence shall be constructed so as to have no openings, holes, or gaps larger than 3 inches in any dimension, except for doors or gates. An accessory building may be used as part of such enclosure.
3. Above-ground pools having hard wall vertical surfaces of at least 4 feet in height shall be required to have fences and gates only where access may be had to the pool.
4. Doors and gates shall be equipped with suitable locking devices to prevent unauthorized intrusion.
5. The construction, plumbing and electrical requirements, inspections, and other safety facilities shall comply with all applicable county codes.
6. Pools under 18 inches in height are not classified as swimming pools and are exempt from these regulations.

Recommendation: Staff recommends to the Summit County Planning Commission that the proposed text amendments be **APPROVED**.



Planning Commission
Zoning Text Amendment
Sidewalks and ADA
Northfield Center Township

Item No.: 3
Meeting: August 31, 2023
Applicant: Northfield Center Zoning Commission
Proposal: **Sidewalks and ADA**
Processor: Stephen Knittel

Proposal: To amend the Northfield Center Township Zoning Resolution Chapter 352 Town Center District to add text for sidewalks and ADA compliance.

Proposed Text Amendments:

Add to Chapter 352, a new Section 352.18 to read:

1. All new construction or renovation shall have sidewalks.
 - a. All sidewalks shall be made from poured concrete.
 - b. Sidewalks shall be a minimum of 48 inches in width and must comply with all ADA standards for sidewalks.
 - c. Refer to current ADA standards for accessible design.

Existing Regulations:

Chapter 352
Town Center District (T-C)

352.01 PURPOSE

- A. To provide a Town Center District (T-C) that encourages a mix of uses in a compact, yet cohesive, town "center" environment that has a pedestrian orientation. The regulations are intended to promote, reinforce, and maintain the small-town character of Northfield Center Township.

352.02 USE REGULATIONS .

A. A use listed in Schedule 352.03 shall be permitted by right as a principal use in a district when denoted by the letter "P" provided that all requirements of other township resolutions and this Zoning Resolution have been met.

B. A use listed in Schedule 352.03 shall be permitted as a conditional use in a district when denoted by the letter "C", provided the Board of Zoning Appeals first makes the determination that the requirements of Chapter 390 have been met according to the procedures set forth in Chapter 630.

C. A use listed below shall be permitted as an accessory use in the Town Center District. Such use shall be permitted as a subordinate building or use when it is clearly incidental to and located on the same lot as the principal building or use. Accessory uses are further regulated in subsequent sections, as noted below.

1. Off-street parking and loading areas as regulated by Section 352.07 and Chapter 410.
2. Signs as regulated by Chapter 420.
3. Other uses of land or buildings that are clearly incident and subordinate to the principal use.

D. Any use that is not specifically listed as either a permitted principal or conditional use or that does not meet the requirements for an accessory use in the Town Center District shall be a prohibited use in this zoning district and shall only be permitted upon amendment of this Resolution and/or the Zoning Map as provided in Chapter 660 or upon a finding that a use is substantially similar as provided in Section 630.13.

352.03 SCHEDULE OF PERMITTED USES.

| | | | | |
|----|--|--|---|--|
| | | | | |
| 1. | Single-family detached dwelling unit | | | |
| 2. | Two-family dwelling | | | |
| 3. | Multi-family dwelling with not more than 4 units in one building | | | |
| 4. | Planned residential development according to Chapter 320 | | | |
| 5. | Residential units above first floor of a building devoted to a non-residential use | | p | |
| 6. | Bed and breakfast home | | | |

| | | | | | |
|-----|--|--|---|--|--|
| 7. | Congregate care facility | | | | |
| | | | | | |
| 1. | Medical or dental office or clinic | | p | | |
| 2. | Administrative, business, or professional office | | p | | |
| 3. | Financial establishment, bank | | p | | |
| | | | | | |
| 1. | Retail use in wholly enclosed building | | | | |
| 2. | Long-term outdoor display | | c | | |
| 3. | Seasonal sales, temporary sidewalk sales | | c | | |
| 4. | Personal service such as barber shop, beauty shop, drycleaning laundry, shoe repair, tanning salons, nail salons, reducing salons, and physical fitness centers. | | p | | |
| 5. | Funeral home | | | | |
| 6. | Restaurant, eating and drinking establishment | | c | | |
| 7. | Studio for instruction such as dance, karate, art | | c | | |
| 8, | Hotel, motel | | | | |
| 9. | Party center and banquet hall | | | | |
| 10. | Dog grooming — no kennel | | | | |
| 11. | Veterinary clinic | | c | | |
| 12. | Drive-thru facility in association with a principal use | | | | |
| | 13.1Internet Sweepstakes Café (Amend. via Res. 12/02-26a) | | | | |

P Principal use permitted by right

C Conditional use

Blank cell indicates the use is not permitted in the district

| | | | | |
|---|--|--|--|--|
| 14.Vehicle sales, rental, new and/or used | | | | |
| 15. Parking garage, lot, deck | | | | |

Sec. 352.03 SCHEDULE OF PERMITTED USES, Amended via Resolution No. 01/8-6q,

| | | | | |
|--|-----------------|---|--|--|
| 16. Gasoline station | | C | | |
| 17. Automobile service station | | | | |
| 18. Car wash | | C | | |
| 19. Small engine repair (20 hp) | | | | |
| E. Community Facilities | | | | |
| 1. Church or other place of worship | | C | | |
| 2. Elementary and/or secondary school facility, public or private | | C | | |
| 3. Library, museum, or similar cultural facility | | | | |
| 4. Meeting facility for fraternal organization, or community organization, i.e. YMCA | | C | | |
| 5. Indoor recreational and entertainment such as bowling alley, indoor theater | | C | | |
| 6. Public safety facility | | C | | |
| 7. Public service facility | | | | |
| 8. Wireless telecommunication facilities and antenna | See Chapter 450 | | | |
| P Principal use permitted by right C = Conditional use Blank cell indicates the use is not permitted in the district | | | | |

sec. 352.04 LOT REQUIREMENTS.

Lots in Town Center shall comply with the following

A. Minimum Requirements. Minimum lot and project area requirements are set forth in Schedule 352.04 below. B. One Building Per Lot.

1. Nonresidential Uses. One principal building shall be permitted on a lot.

2. Residential Dwellings. In a Town Center, only one dwelling shall be permitted on a lot.

Amended via Resolution No. 18/10-01 A

c. Schedule 352.04:

| | | | | |
|--|--|----------------|--|--|
| Minimum Requirements | | Town Center | | |
| 1. Project size | | | | |
| 2. Minimum lot size except as otherwise set forth below for residential uses | | 25,000 sq. ft. | | |
| a) Single-family dwelling | | | | |
| b) Two-family dwelling | | | | |
| c) Multi-family dwelling | | | | |
| 3. Lot width at building | | 100 ft. | | |
| 4. Street frontage | | 100 ft. | | |
| Notes to Schedule 352.04: (^a) Except that when a lot fronts on a cul-de-sac, the minimum frontage shall be 50 ft as measured on the arc. NP Not Permitted | | | | |

Sec. 352.05 BUILDING SPACING REQUIREMENTS.

Every building shall be located on a lot in compliance with the building spacing regulations set forth in Schedule 352.05:

A. Setbacks from Public Streets. The setback requirement shall be measured from the right-of way of the public street.

B. Schedule 352.05.

| Minimum Setbacks/ Spacing Requirements | | T-c Town Center | | |
|--|--|-----------------------|--|--|
| 1. Setback from Public Streets | | 50 ft. (a) | | |
| 2. Setback from Side and Rear Lot Lines | | | | |
| a) Adjacent to non-res. districts | | 25 ft. | | |
| b) Adjacent to O-C, R-1, or R-2 District | | 50 ft. | | |
| 3. Spacing between principal buildings on the same lot | | 20 ft. | | |
| Notes to Schedule 352.05: (a) 70 feet on all County and State Roads. (b) 100 feet on Route 82 and Route 8. (c) The minimum setback for single-family and two-family dwellings shall be 25 feet. | | | | |

Sec. 352.06 HEIGHT REGULATIONS.

All buildings and structures shall comply with the following height regulations.

A.No buildings shall exceed a height of 35 feet.

B. Height exceptions are set forth in Sec. 230.06B for appurtenant structures.

sec. 352.07 PARKING SETBACK REQUIREMENTS.

Off-street parking shall be located in compliance with the minimum setbacks, measured from the street right-of-way or property line, as specified in Schedule 352.07 unless otherwise noted. The area within this setback shall be landscaped in accordance with Chapter 430. Schedule 352,07

| | | | | |
|--|--|----------------|--|--|
| | | Town Center | | |
| A. Setback from public street right-of way | | 30 ft. | | |
| B. Setback from side and rear lot line: | | | | |
| 1. Adjacent to non-residential district | | 15 ft. | | |
| 2. Adjacent to CC, R-1 or R-2 District | | 25 ft. | | |

sec. 352.08 SUPPLEMENTAL BUILDING REQUIREMENTS FOR T-C DISTRICT.

All development in the T-C District shall comply with the following supplemental building and parking requirements.

A. Whenever parking is located in front of a building, not more than 50 percent of the area between the parking setback and the building shall be devoted to parking.

B. The wall of a building that faces a public right-of-way, that is within 45 degrees of facing a public right-of-way, or that faces a parking area shall comply with the following:

1. A minimum of 50 percent of such ground floor wall area shall have display-type windows. The bottom edge of such window shall not be higher than three (3) feet above grade. A maximum of 20 percent of such windows may be opaque.

2. Walls shall have no more than 20 feet of contiguous wall length devoid of windows, on any ground floor, unless the wall includes architectural features such as piers, columns, defined bays or an undulation of the building.

C. Flat roofs shall not be permitted in the T-C District.

D. No use, change of use (except for oil and gas wells which shall be exempt from the site plan review) shall be permitted until such use has received written site plan approval from the Township Zoning Commission. Any modifications or alterations which deviate from the final site plan shall require additional review. All uses are subject to Local, State and Federal Regulations.

Sec. 352.09 DWELLING UNIT REQUIREMENTS.

A, Required Area. Each dwelling unit shall comply with the minimum floor area requirements set forth in Schedule 352.09, based on the type of dwelling unit. In computing the required floor area, the area of breezeways, unfinished basements, garages, and other similar accessory structures shall not be included.

B. Schedule 352.09 Minimum Floor Area Per Dwelling Unit.

| of Dwelling Unit | Minimum Floor Area |
|--|--|
| 1. Single Family Unit | |
| a) Total floor area per dwelling unit | 1,500 sq. ft. |
| b) 1 st floor of a one and a half story, two-story or multilevel dwelling | 1,000 sq. ft. |
| 2 Two family Unit | 1,000 sq. ft. |
| 3. Dwelling unit in a multi-family dwelling or above the first floor of a building devoted to a nonresidential use | |
| a) Efficiency suites | 500 sq. ft. |
| b) One-bedroom unit | 650 sq. ft. |
| c) Two-or more bedroom unit | 900 sq. ft. plus 300 sq. ft for every bedroom over two |

Sec. 352.10 ACCESSORY USE
REGULATIONS.

Accessory uses permitted in any Town Center shall conform to the regulations of this Section.

A. Residential Accessory Buildings and Uses. Accessory buildings and accessory uses associated with residential uses, in districts where residential uses are permitted, shall comply with the accessory use regulations set forth in Section 310.08.

B. Non-Residential Accessory Uses, Buildings and Structures. Accessory uses, buildings and structures associated with nonresidential uses shall comply with all lot area and yard requirements established for principal buildings and uses set forth in this Chapter; accessory buildings shall not exceed 144 square feet. The primary use of the accessory building is to store maintenance equipment. Accessory buildings shall match the design of the primary building.

Amended via Resolution No. 169/04-01 G

Accessory uses, buildings and structures associated with nonresidential uses shall be subject to the development plan review and approval requirements of the zoning district in which the parcel is located.

C. Fences and Walls. Fences and walls may be erected in any Town Center provided they comply with the following:

1. In a front yard, a fence or wall shall not exceed 4 feet in height, except as otherwise regulated in Section 230.03.
2. In a required side or rear yard, a fence or wall shall not exceed 6 feet in height.
3. All fences and walls shall be of uniform design and shall be well maintained. The smooth finished side of the fence shall be the side of the fence that faces outward from the yard being fenced.
4. Fences and walls used for buffering and screening shall comply with the regulations set forth in Chapter 430.

D. Trash Receptacles. Trash receptacles shall be located in the rear yard and shall conform to the minimum parking setback.

E. Off-Street Parking and Loading Regulations. Off-street parking and loading areas shall conform to the minimum parking setback requirements specified in Schedule 352.07 and shall otherwise conform to the regulations of Chapter 410.

sec. 352.11 LANDSCAPING AND SCREENING REQUIREMENTS.

Visual screening and landscape buffers shall be provided for all lots in Commercial Districts in accordance with the provisions set forth in Chapter 430.

sec. 352.12 SUPPLEMENTAL REGULATIONS FOR GASOLINE STATIONS.

In addition to the above regulations, all gasoline stations shall comply with the following standards.

A. A gasoline station located on a corner lot shall maintain the minimum lot frontage on both lot lines fronting on streets.

B. Fuel pumps, aisles providing access around the fuel pumps and canopies shall comply with the parking setbacks set forth in Section 352.07.

The only services permitted to be performed on a vehicle shall be the dispensing of fuel, oil, air, and windshield wiper fluid.

- C. Except while being serviced at a pump island, no vehicle shall be parked between the pumps and the front property line.

Sec. 352.13 PERFORMANCE STANDARDS.

All uses shall comply with the following performance standards.

A, Fire Hazards. Flammable or explosive materials shall only be permitted in structures having noncombustible exterior walls.

B. Radioactive or Electrical Disturbances. Radioactive emissions or electrical discharges shall be confined to the use and lot from which they originate and shall not occur across any lot

C. Lighting. All lighting shall be so arranged as to direct light away from adjacent parcels and streets and shall not be of excessive brightness or cause a glare hazardous to motorists or reasonably objectionable to adjacent property owners.

D. Enclosure. All uses and operations, except off-street parking and loading facilities, shall be performed wholly within an enclosed building or buildings unless otherwise specifically permitted in these regulations.

sec. 352.14 DEVELOPMENT PLAN REVIEW.

Prior to the construction, alteration, expansion or modification of a building, structure or use in a Town Center, a development plan for such activity shall be reviewed and approved according to the procedures set forth in Chapter 620, except as otherwise set forth for single-family and two-family dwellings in a Town Center, which shall be reviewed and approved according to the zoning certificate procedures set forth in Chapter 610.

sec. 352.15 COMMERCIAL VEHICLE PARKING

A, Commercial vehicle parking:

1. Not more than three (3) commercial vehicles per building lot shall be allowed to park overnight in the Town Center.
2. Vehicles shall be parked in rear of Building and screened from view. No chain link fences allowed. Refer To Section 430.

sec. 352.16 PORTABLE STORAGE CONTAINERS.

B. No portable storage containers shall be allowed in the Town Center .

Sec 352.17 Outdoor Parking of Construction Equipment/Vehicles on a Town Center Lot.

A The outdoor parking or storage of construction equipment/vehicles shall not be permitted on a Towns Center lot.

C. A temporary thirty (30) day waiver to park construction equipment/vehicles shall be obtained from the Zoning Inspector for the purpose of construction or repairs to the property, on or near the property, including property used as a staging area.

D. A temporary waiver for a construction site of any public construction work will be required.

AMENDED VIA RESOLUTION NO. 23/04-03 C

Recommendation: Staff recommends to the Summit County Planning Commission that the proposed text amendments be **APPROVED**.



Planning Commission
Zoning Text Amendment
Portable Storage Container
Northfield Center Township

Item No.: 4
Meeting: August 31, 2023
Applicant: Northfield Center Zoning Commission
Proposal: **Portable Storage Container**
Processor: Stephen Knittel

Proposal: To amend the Northfield Center Township Zoning Resolution Chapter 350 Commercial District Regulations and Chapter 360 Industrial District Regulations to add language to regulate portable storage unit containers.

Proposed Text Amendments:

Add to Chapter 350, a new Section 350.16, AND also add this to Chapter 360, a new Section 360.13 to read:

A. Application for permit shall be made to Northfield Center Township. The township Zoning Inspector shall determine the most appropriate location for the portable storage unit or roll-off dumpster to be placed on the lot. A permit fee in an amount to be established from time to time by resolution of the Northfield Center Township Trustees will accompany the application. The issuance of a permit shall allow the applicant to place the portable storage unit or dumpster on the subject lot in the location specified in the permit.

B. the container shall be screened from the road and adjoining properties by trees or an approved fence/wall.

C. The container shall be located at the side or behind the business.

D. Setbacks shall conform to the Zoning Regulations.

E. The container shall be considered safe and have ventilation and locks for safety reasons.

Recommendation: Staff recommends to the Summit County Planning Commission that the proposed text amendments be **APPROVED**.